

ELMONICA STATION



LAND USE 08.03.23



ELMONICA STATION

PROJECT NUMBER: 2022

ELMONICA STATION

17030 SW BASELINE ROAD
 BEAVERTON, OR 97006

CLIENT:

REACH CDC

4150 S MOODY AVE
 PORTLAND, OR 97239

GENERAL CONTRACTOR
 COLAS CONSTRUCTION, INC.
 19 NW 5TH AVE, SUITE 203
 PORTLAND, OR 97209
 PHONE: 503.358.0722
 CONTACT: MARC-DANIEL DOMOND

CIVIL ENGINEER
 HUMBER DESIGN GROUP
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 CONTACT: KRISTIAN MCCOMBS

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 PLACE
 735 NW 18TH AVENUE
 PORTLAND, OR 97209
 PHONE: 503.334.2080
 CONTACT: MIGUEL CAMACHO-SERNA

PHASE:

LAND USE

MECHANICAL & PLUMBING
 ARRIS CONSULTING
 5247 NE 49TH AVE
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 PHONE: 503.757.2611
 CONTACT: BRIAN BUTLER

ELECTRICAL
 INTERFACE ENGINEERING
 100 SW MAIN STREET, SUITE 1600
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STRUCTURAL ENGINEER
 VALAR CONSULTING ENGINEERING
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LAND USE PLANNER
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ACOUSTIC ENGINEER
 TENOR ENGINEERING GROUP
 ADDRESS
 PHONE: 206.899.5450
 CONTACT: ERIK MILLER-KLEIN

BUILDING ENVELOPE
 QUALIFIED ENCLOSURE CONSULTANTS (QEC)
 1049 NW CORPORATE DRIVE,
 TROUTDALE, OR 97060
 PHONE: 503.328.9549
 CONTACT: DEVIN FOLLINGSTAD

DRAWN BY: BH
 CHECKED BY: CK
 DATE CREATED: 08/03/23

SHEET:

G0.01

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Salazar Architect, Inc.

ABBREVIATIONS

@	AT	GFRC	GLASS FIBER REINFORCED CONCRETE	REFR	REFRIGERATOR
AC	AIR CONDITIONING / ACRES	GYP	GYPSUM BOARD	REQD	REQUIRED
ADJ	ADJUSTABLE	HR	HOUR	RH	RANGE HOOD
AFF	ABOVE FINISHED FLOOR	INFO	INFORMATION	RM	ROOM
ALUM	ALUMINUM	INSUL	INSULATION	RO	ROUGH OPENING
ASSY	ASSEMBLY	INT	INTERIOR	RR	RESTROOM
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	JAN	JANITOR'S CLOSET	SAMF	SELF-ADHERED MEMBRANE FLASHING
BD	BOARD	MAX	MAXIMUM	SF	SQUARE FOOT
BM	BEAM	MDF	MEDIUM-DENSITY FIBERBOARD	SHTHGN	SHEATHING
CL	CENTERLINE	MECH	MECHANICAL	SIM	SIMILAR
CLR	CLEAR	MFR	MANUFACTURER	SS	STAINLESS STEEL
COL	COLUMN	MIN	MINIMUM	STC	SOUND TRANSMISSION CLASS
COMM	COMMUNICATION(S)	MIRR	MIRROR	STL	STEEL
CONC	CONCRETE	MTL	METAL	STOR	STORAGE
CONT	CONTINUOUS	N/A	NOT APPLICABLE	STR	STAIR
D	DRYER	NO	NUMBER	T	TREAD
DBL	DOUBLE	NR	NON RATED	T & G	TONGUE AND GROOVE
DIA	DIAMETER	NTS	NOT TO SCALE	TO	TOP OF
DIM	DIMENSION	OC	ON CENTER	TYP	TYPICAL
DN	DOWN	OCC	OCCUPANT(S), OCCUPANCY(IES)	UL	UNDERWRITERS LABORATORIES
DS	DOWNSPOUT	OD	OVERFLOW DRAIN	UNO	UNLESS NOTED OTHERWISE
DW	DISHWASHER	OFC	OREGON FIRE CODE	VFY	VERIFY
EA	EACH	OLF	OCCUPANT LOAD FACTOR	W	WASHER
ELEC	ELECTRICAL	OPP	OPPOSITE	W/	WITH
ELEV	ELEVATOR	OSSC	OREGON STRUCTURAL SPECIALTY CODE	WC	WATER CLOSET
EQ	EQUAL	PERF	PERFORATED / PERFORATION	WIJ	WOOD I-JOISTS
EXT	EXTERIOR	PL	PROPERTY LINE, PLATE	WRB	WEATHER-RESISTIVE BARRIER
FCP	FIBER CEMENT PANEL	PLAM	PLASTIC LAMINATE	YD	CUBIC YARD
FD	FLOOR DRAIN	PLWD	PLYWOOD		
FEC	FIRE EXTINGUISHER CABINET (FIRE EXTINGUISHER)	PNT	PAINT		
FND	FOUNDATION	PT	PRESERVATIVE TREATED, POST-TENSION		
FOS	FACE OF STUD	PTHP	PACKAGE TERMINAL HEAT PUMP		
FSAMF	FORMABLE SELF-ADHERED MEMBRANE FLASHING	QTY	QUANTITY		
FT	FEET	R	RISER, RADIUS		
GA	GAUGE OR GYPSUM ASSOCIATION	RD	ROOF DRAIN		
GALV	GALVANIZED OR GALVANIC	REF	REFER, REFERENCE		

GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD UNO OR CENTER OF WINDOW OPENING, COLUMN, EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION/FACE OF FRAMING. DIMENSIONS INDICATED AS "CLR" ARE TO FACE OF FINISH UNO.
- DASHED BOXES AND CIRCLES ON PLAN DESIGNATE REQUIRED ACCESSIBLE OR EQUIPMENT CLEAR FLOOR SPACE.

PROJECT DESCRIPTION

ELMONICA IS AN AFFORDABLE HOUSING DEVELOPMENT IN BEAVERTON, OREGON, LOCATED AT THE INTERSECTION OF W BASELINE RD AND 170TH AVE. THE PROJECT IS FOUR STORIES TALL AND WILL HAVE 81 APARTMENTS, RANGING FROM STUDIOS, 1-BEDROOM, 2-BEDROOM, AND 3-BEDROOM UNITS.

SHEET INDEX

GENERAL	
G0.00	COFFEE COVER
G0.01	COVER SHEET
G0.02	SITE REFERENCE PLAN
G0.03	ACCESS & CIRCULATION

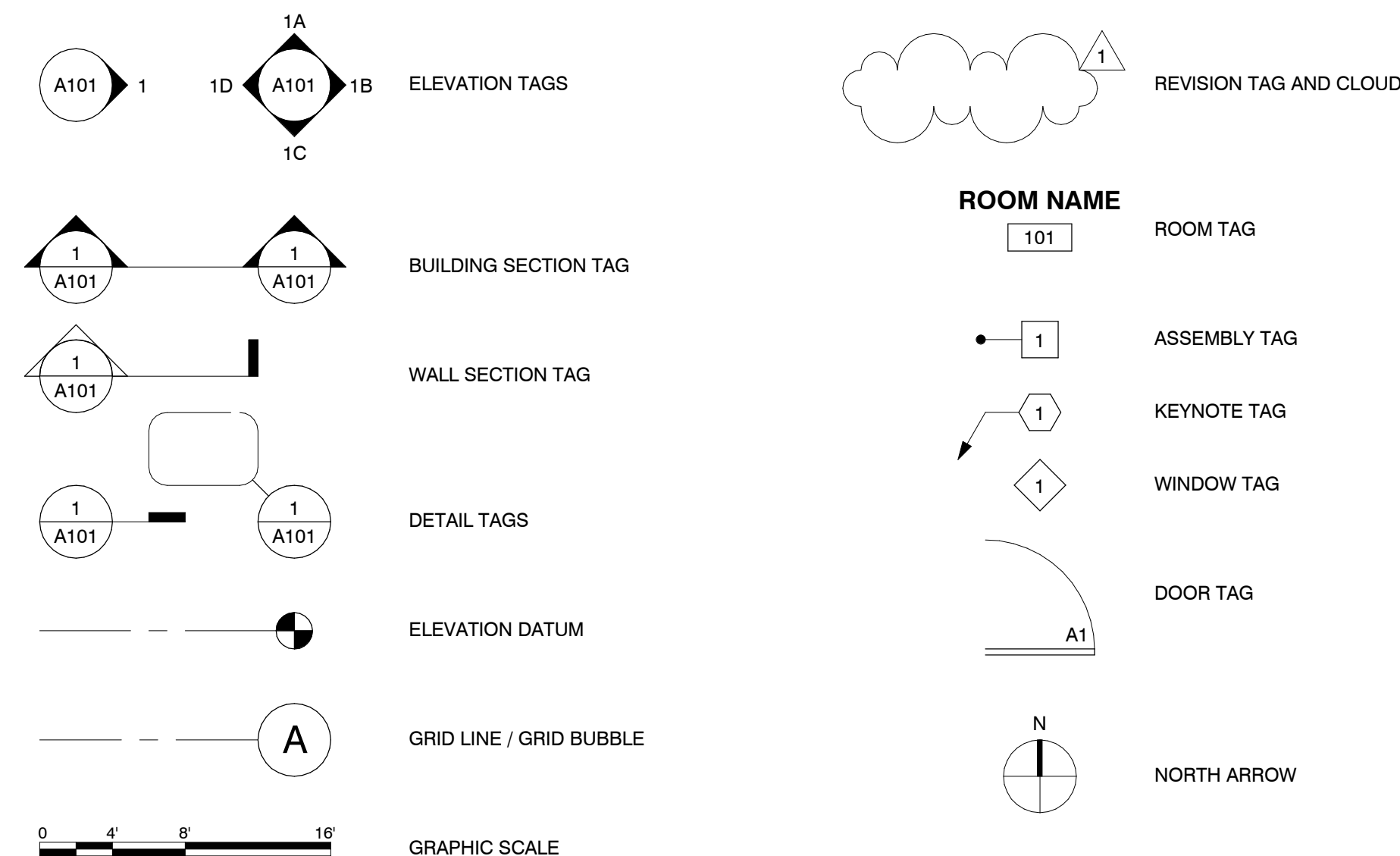
CIVIL	
C0.50	EXISTING CONDITIONS
C1.00	TYPICAL SECTIONS
C2.00	GRADING PLAN
C3.00	UTILITY PLAN

LANDSCAPE	
L0.00	TREE REMOVAL PLAN
L1.00	MATERIALS PLAN
L5.00	PLANTING PLAN
L5.01	PLANTING SCHEDULE & NOTES
L5.02	ENLARGED PLANTING PLANS
L5.03	ENLARGED PLANTING PLANS

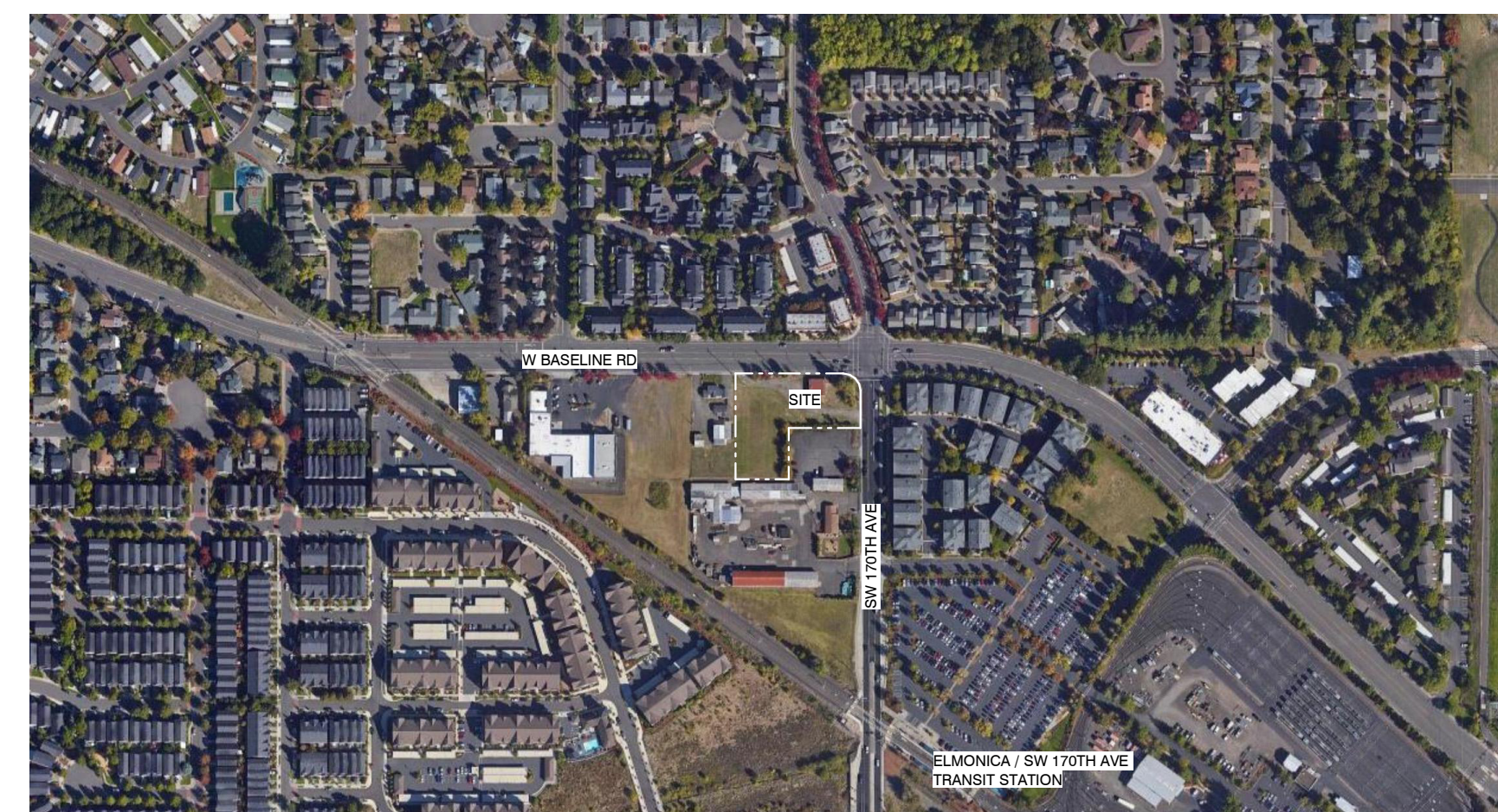
ARCHITECTURAL	
A1.01	LEVEL 01 PLAN
A1.02	LEVELS 02-04 PLAN
A1.03	ROOF PLAN
A2.01	BUILDING ELEVATIONS
A2.02	BUILDING ELEVATIONS
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A2.04	BUILDING ELEVATIONS - ARTICULATION
A2.05	VISUALIZATION
A2.06	VISUALIZATION

ELECTRICAL	
EL001	PHOTOMETRIC PLAN - ROW
SL101	SITE PLAN - PHOTOMETRICS

SYMBOLS



VICINITY MAP



PLAN LEGEND

- RECTANGULAR COLUMNS - CONCRETE
- ROUND COLUMNS - CONCRETE
- PARKING UNDER BUILDING
- ▨ INTERIOR BUILDING SPACE
- ▲ SECONDARY BUILDING ENTRANCE
- ▲ PRIMARY BUILDING ENTRANCE

UNIT MIX

UNIT TYPE	GROSS AREA (SF)	# OF UNITS	% OF UNITS
STUDIO	445	24	30%
1-BD	596	24	30%
2-BD	877	18	22%
3-BD	1,035	15	18%
TOTALS		81	100%

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PARKING COUNT

BICYCLE PARKING REQUIRED	# OF SPACES
SHORT TERM = 1 PER 20 UNITS	5
LONG TERM = 1 PER UNIT	81
TOTALS	86

MOTOR VEHICLE PARKING REQUIRED	# OF SPACES
1 PER UNIT	81

BICYCLE PARKING PROVIDED	# OF SPACES
SHORT TERM	6
LONG TERM	82
TOTALS	88

PARKING PROVIDED	TYP.	ADA
PARKING UNDER BLDG	31	1
FESTIVAL STREET	12	2
SUB TOTALS	43	3
TOTAL (0.57)		46

AREA CALCULATIONS

SITE AREA	SF	%
L1 BUILDING FOOTPRINT	8,511 SF	20 %
PARKING & DRIVING	19,433 SF	46 %
LANDSCAPING / OPEN SPACE	14,201 SF	34 %
TOTAL SITE AREA	42,145 SF	100 %

BUILDING AREA	SF	%
LEVEL 1	7,842 SF	10 %
LEVEL 2	23,144 SF	29.9 %
LEVEL 3	23,144 SF	29.9 %
LEVEL 4	23,144 SF	29.9 %
LEVEL ROOF	190 SF	0.3 %
TOTAL	77,464 SF	100 %
FAR (PER BDC DEF.)	1.84	

PHASE:

LAND USE

REVISIONS:

#	DATE	DESCRIPTION
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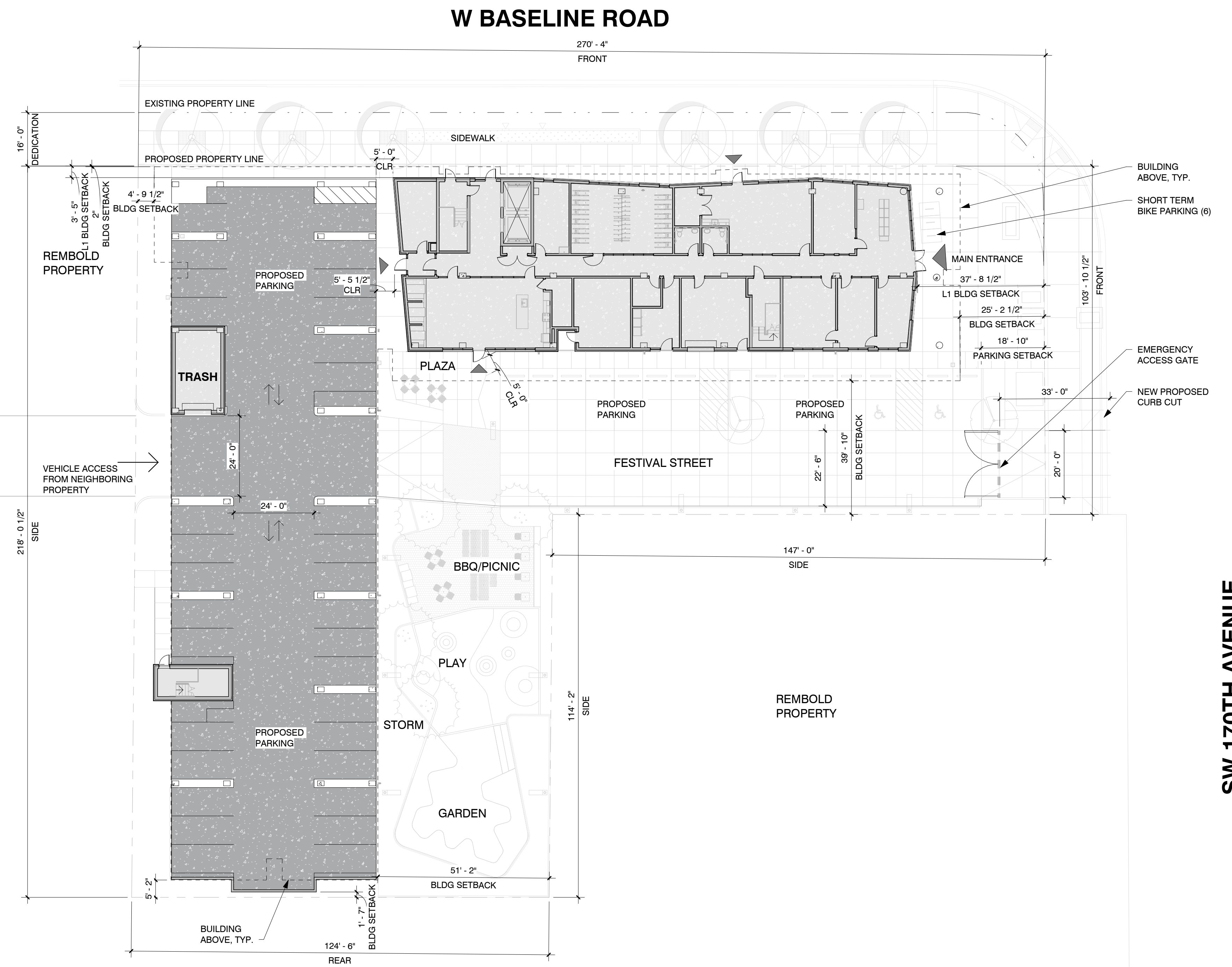
SITE REFERENCE PLAN

DRAWN BY: BH
 CHECKED BY: CK
 DATE CREATED: 08/03/23

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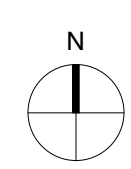
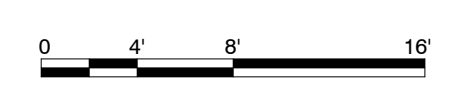
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1 SITE PLAN
 1" = 20'-0"



PLAN LEGEND

- RECTANGULAR COLUMNS - CONCRETE
- ROUND COLUMNS - CONCRETE
- INTERIOR BUILDING SPACE
- ▲ SECONDARY BUILDING ENTRANCE
- ▲ PRIMARY BUILDING ENTRANCE
- VEHICLE PATH
- ▨ PEDESTRIAN PATH (TEMPORARY SIDEWALK)
- ▩ PEDESTRIAN PATH (PERMANENT SIDEWALK)
- ▧ PEDESTRIAN PATH CROSSING VEHICLE PATH

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BEAVERTON, OR 97006

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4150 S MOODY AVE
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PHASE:
LAND USE

REVISIONS:

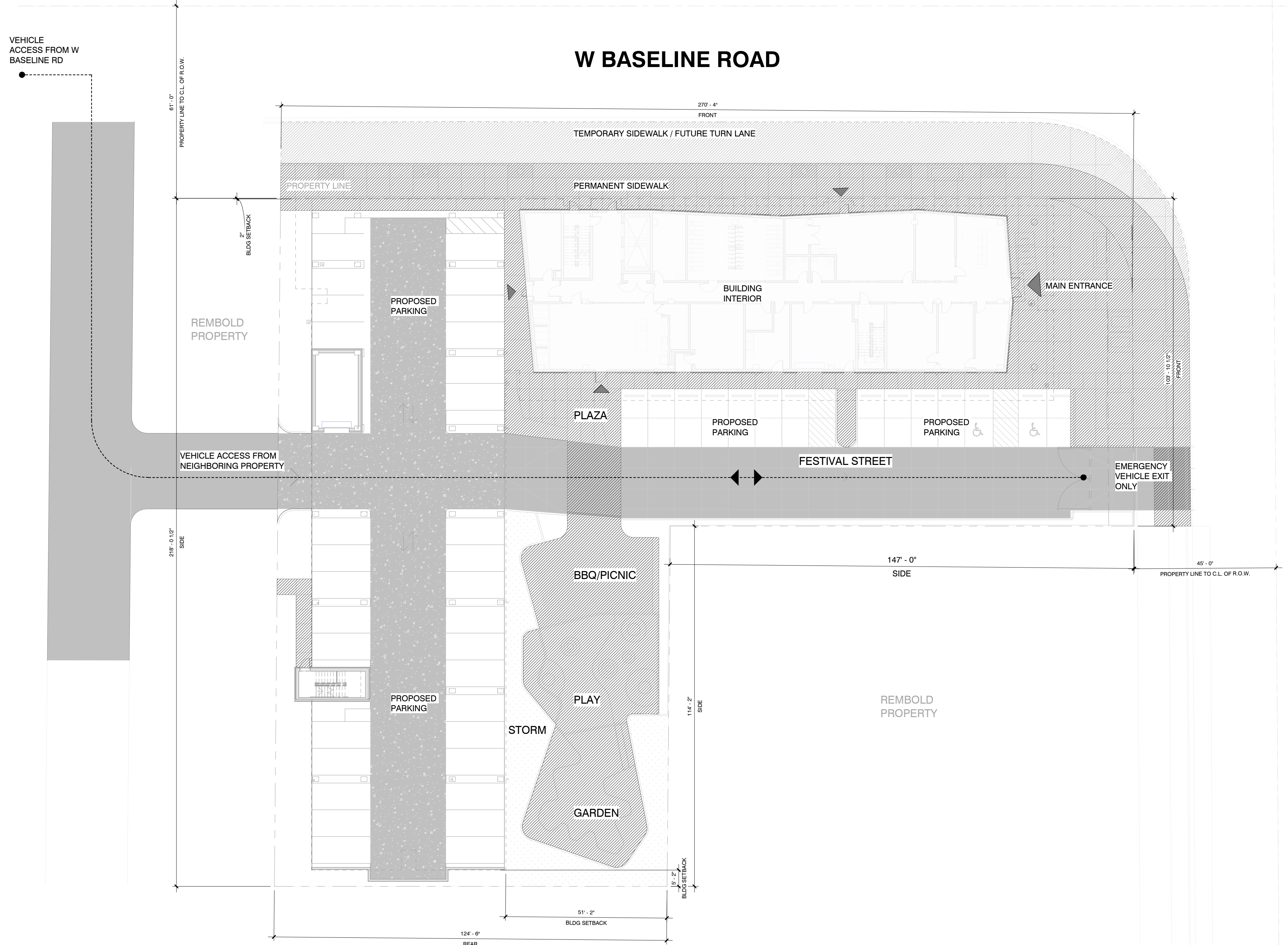
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ACCESS & CIRCULATION

DRAWN BY: BH
CHECKED BY: CK
DATE CREATED: 08/03/23

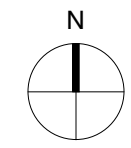
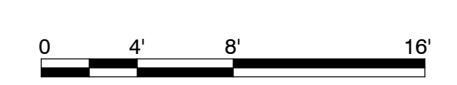
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G0.03

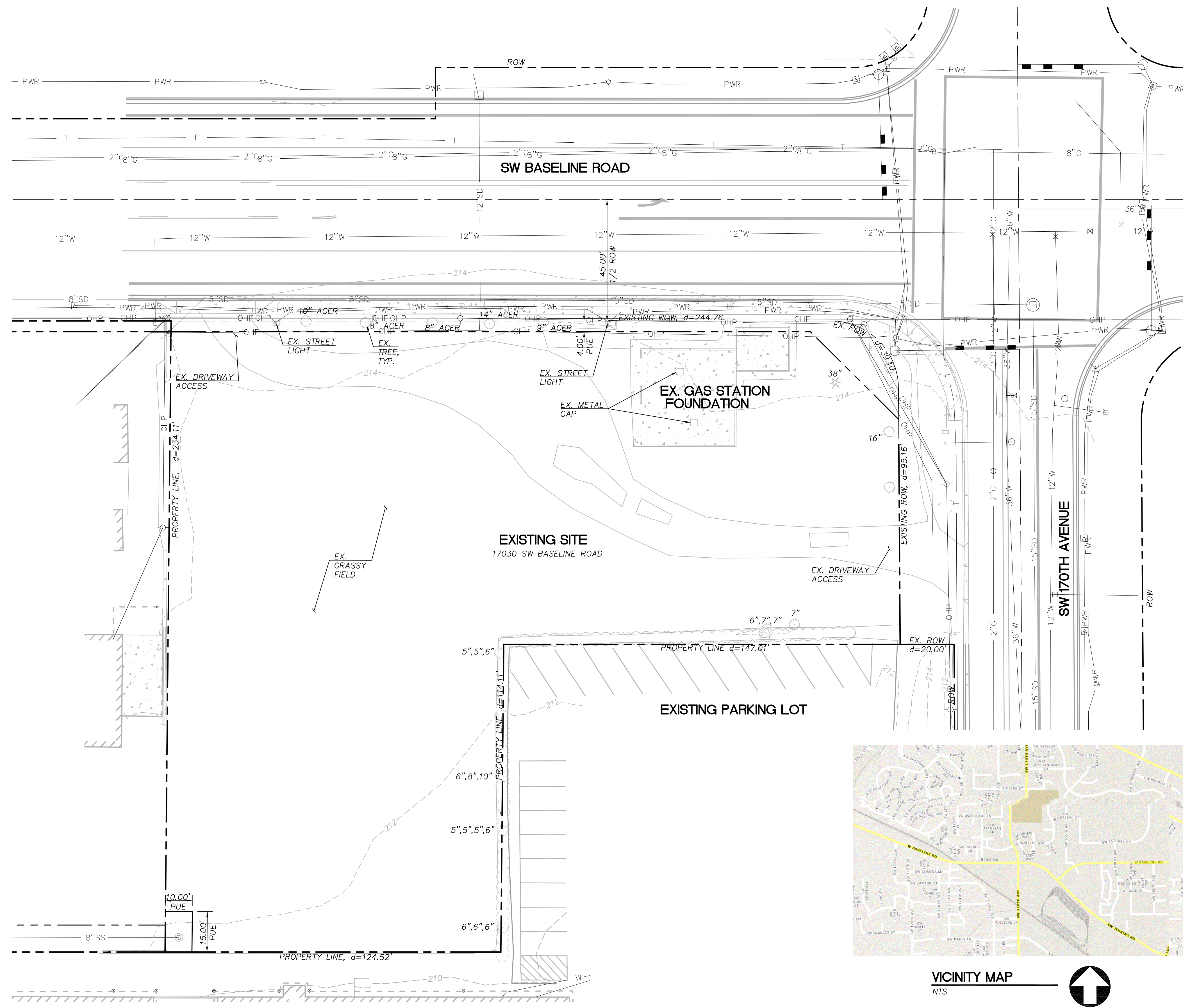
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1 SITE PLAN
G0.03 1" = 20'-0"





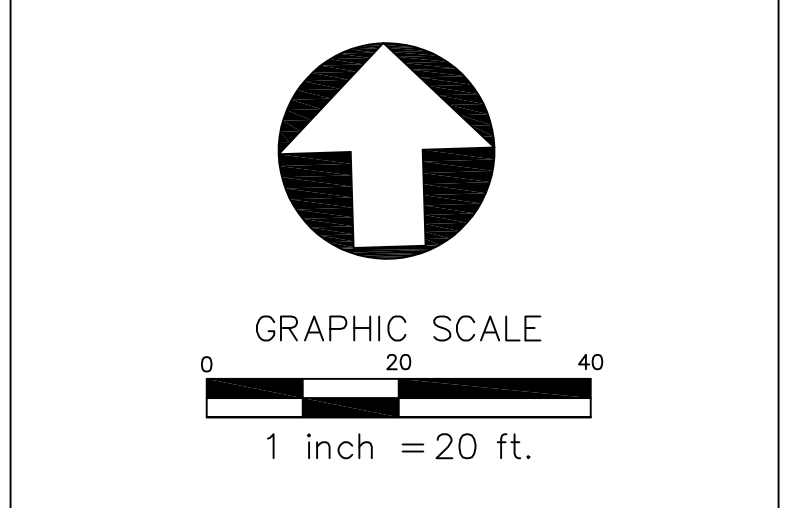
GENERAL SHEET NOTES

- TOTAL EXISTING SITE AREA = 46,541 SF
- SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOODPLAIN.
- PER CITY OF BEAVERTON'S INVENTORIES, THE SITE DOES NOT INCLUDE NATURAL RESOURCE AREAS, SIGNIFICANT TREES, AND HISTORIC TREES
- PER CLEAN WATER SERVICES STANDARDS, THE SITE IS NOT WITHIN SENSITIVE AREAS.
- NO WETLAND BOUNDARIES, UPLAND WOODED AREA BOUNDARIES, RIPARIAN BOUNDARIES, ROCK OUTCROPPINGS, AND STREAMS FALL WITHIN THE SITE AREA.

LEGEND

SYMBOL	DESCRIPTION
○	DECIDUOUS TREE
★	CONIFEROUS TREE
⊕	FIRE HYDRANT
⊙	WATER BLOWOFF
□	WATER METER
⊗	WATER VALVE
⊞	DOUBLE CHECK VALVE
⊚	AIR RELEASE VALVE
○	SANITARY SEWER CLEAN OUT
○	SANITARY SEWER MANHOLE
⊙	SIGN
☆	STREET LIGHT
⊞	MAILBOX
○	STORM DRAIN CLEAN OUT
□	STORM DRAIN CATCH BASIN
□	STORM DRAIN AREA DRAIN
⊞	STORM DRAIN MANHOLE
⊞	GAS METER
⊞	GAS VALVE
⊙	GUY WIRE ANCHOR
○	UTILITY POLE
⊞	POWER VAULT
⊞	POWER JUNCTION BOX
□	POWER PEDESTAL
⊞	COMMUNICATIONS VAULT
⊞	COMMUNICATIONS JUNCTION BOX
○	COMMUNICATIONS RISER

NORTH ARROW + SCALE BAR



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PHASE:

LAND USE

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DATE	DESCRIPTION
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SHEET TITLE:
EXISTING CONDITIONS PLAN

DRAWN BY: AX/MCS
 CHECKED BY: KAM
 DATE CREATED: 6/16/23

SHEET:

C050

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 BEAVERTON, OR 97006

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REACH CDC

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 PORTLAND, OR 97239



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PHASE:
SITE DEVELOPMENT PERMIT

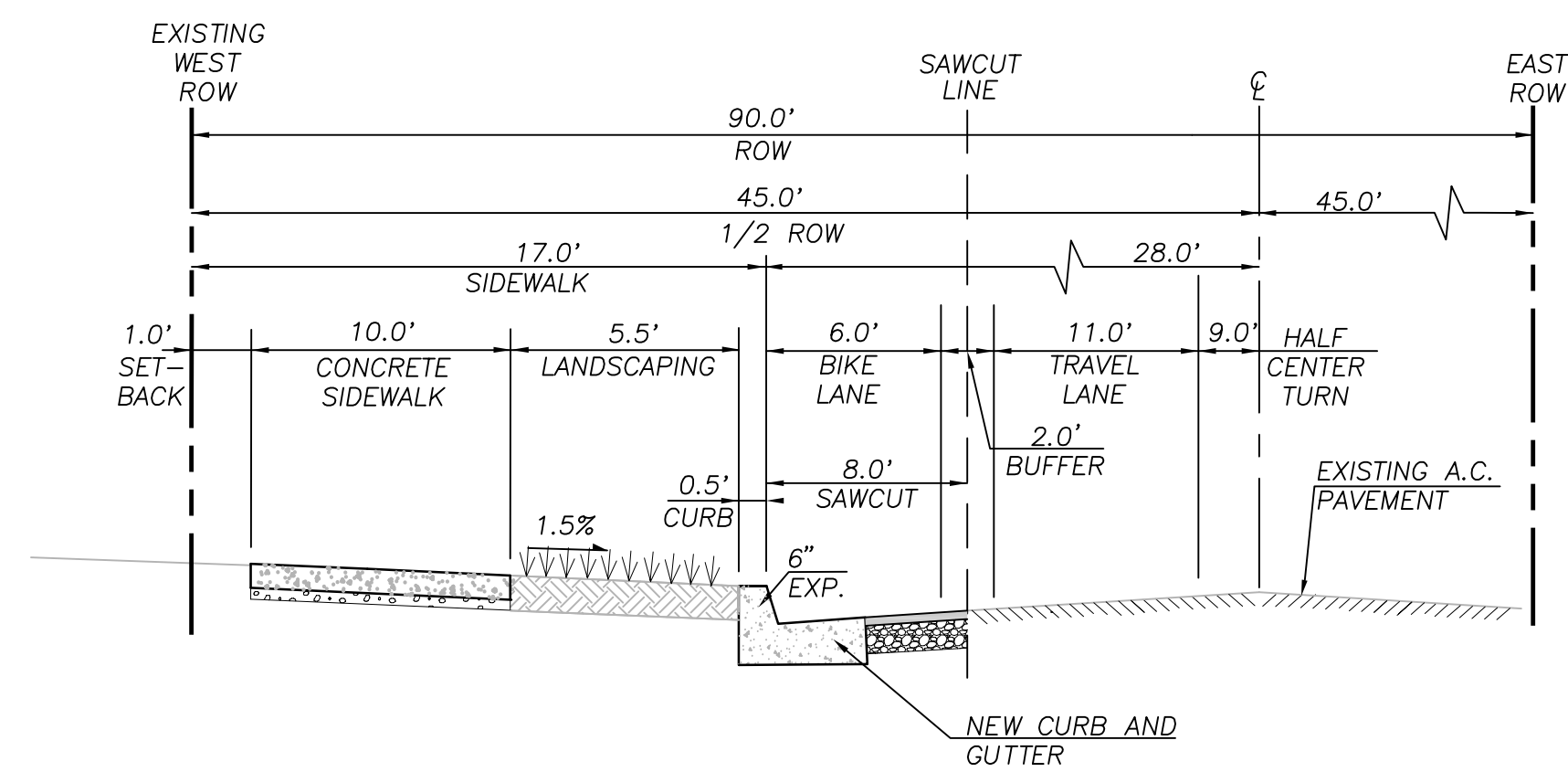
REVISIONS:

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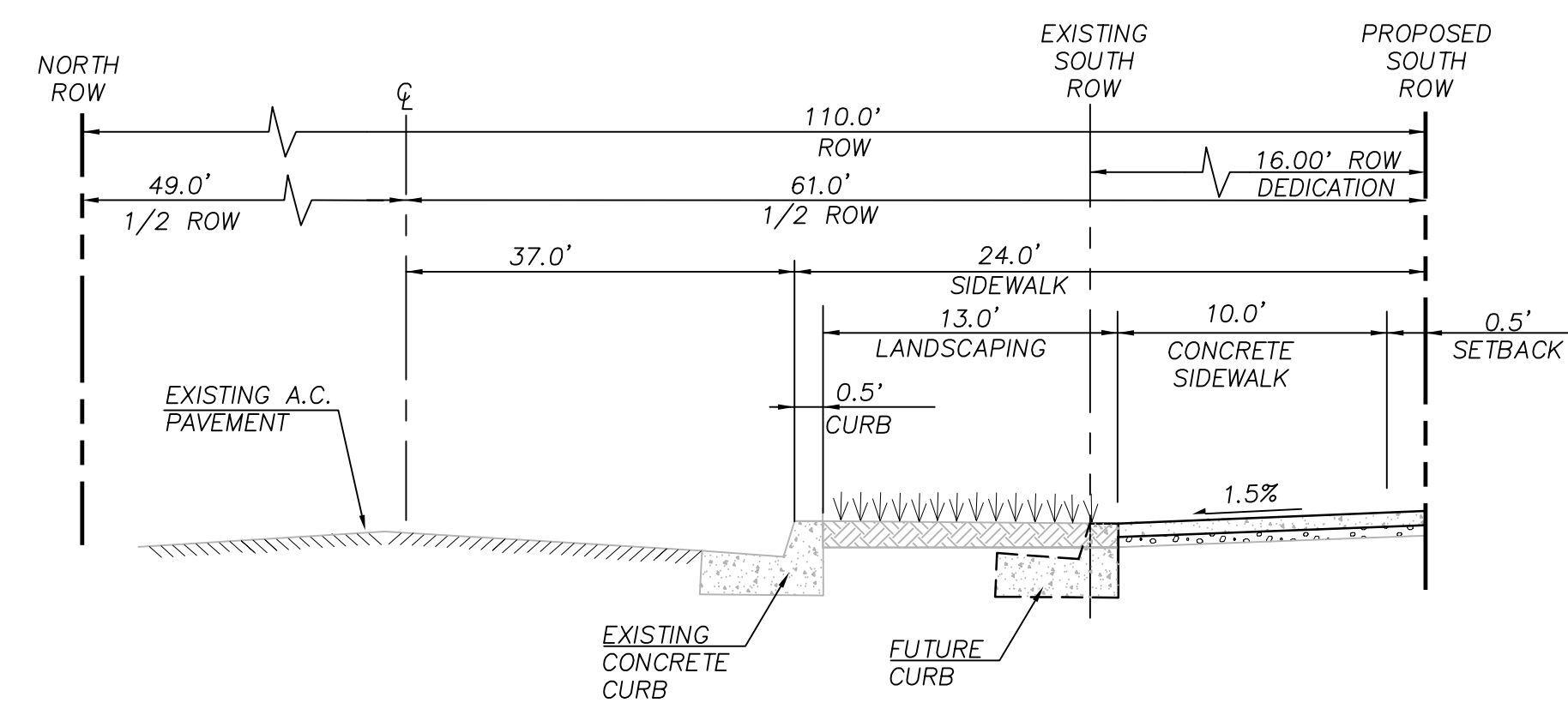
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 CHECKED BY: KM
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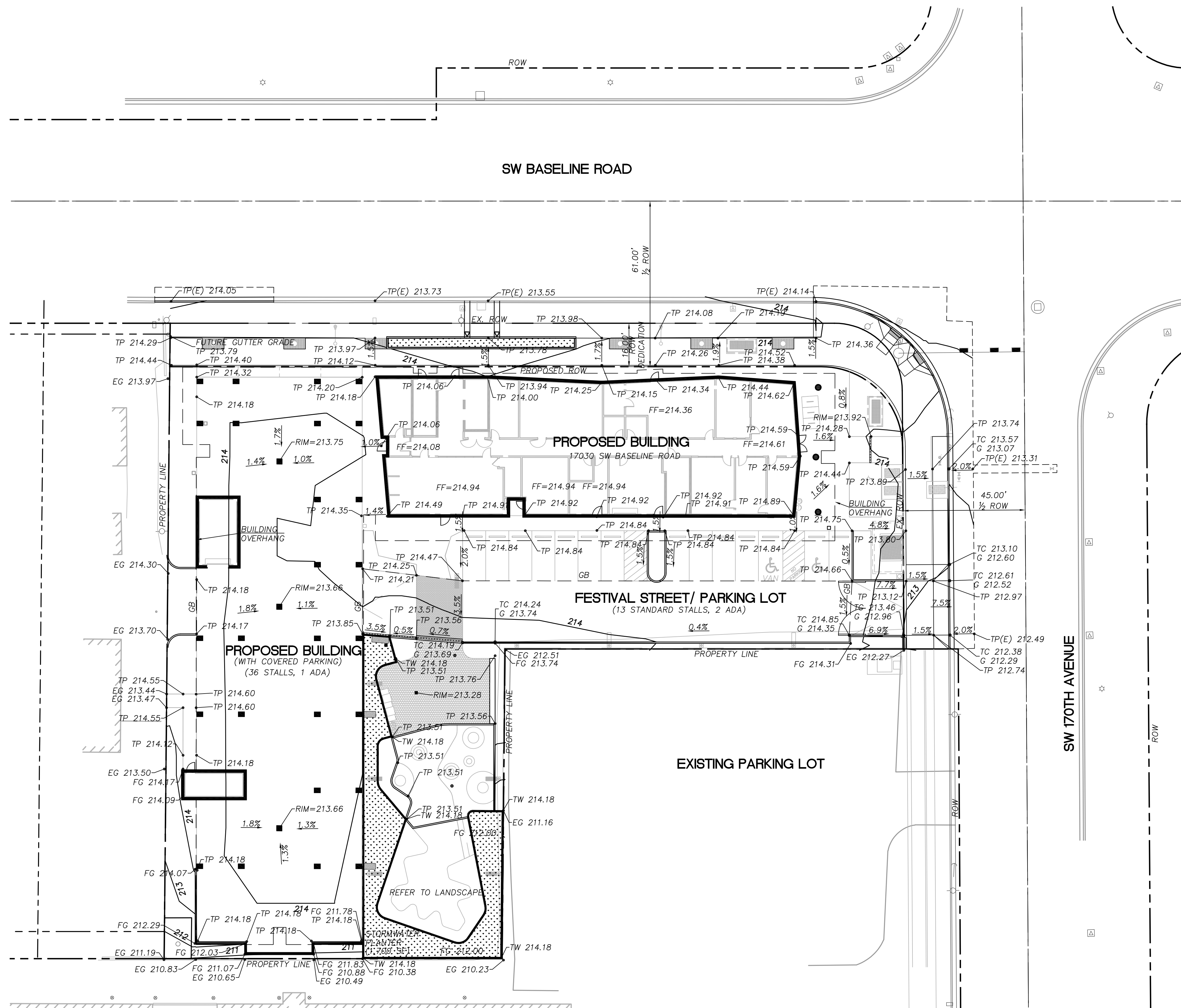


2 SW 170TH AVENUE TYPICAL SECTION
 NTS



1 SW BASELINE ROAD TYPICAL SECTION
 NTS

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LAYOUT AND PAVING PLAN
SCALE: 1"=20'

GENERAL SHEET NOTES

1. INSTALL AND MAINTAIN INLET PROTECTION ON ALL STORM INLETS 100' FROM SITE.
2. ALL EXISTING TREES WILL BE REMOVED
3. SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOODPLAIN.
4. PER CITY OF BEAVERTON'S INVENTORIES, THE SITE DOES NOT INCLUDE NATURAL RESOURCE AREAS, SIGNIFICANT TREES, AND HISTORIC TREES.
5. PER CLEAN WATER SERVICES STANDARDS, THE SITE IS NOT WITHIN SENSITIVE AREAS.
6. NO WETLAND BOUNDARIES, UPLAND WOODED AREA BOUNDARIES, RIPARIAN AREA BOUNDARIES, ROCK OUTCROPPINGS, AND STREAMS FALL WITHIN THE SITE AREA.

LEGEND

SYMBOL	DESCRIPTION
---610---	EXISTING CONTOUR
—610—	PROPOSED CONTOUR
←X.X%	SLOPE ARROW
✕	REMOVE EXISTING TREE

ABBREVIATIONS

BS	BOTTOM OF STAIR
(E)	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
G	GUTTER GRADE
TC	TOP OF CURB
TP	TOP OF PAVEMENT/SIDEWALK

NORTH ARROW + SCALE BAR

GRAPHIC SCALE
0 20 40
1 inch = 20 ft.

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PHASE:

PUBLIC PLANS

REVISIONS:

#	DATE	DESCRIPTION
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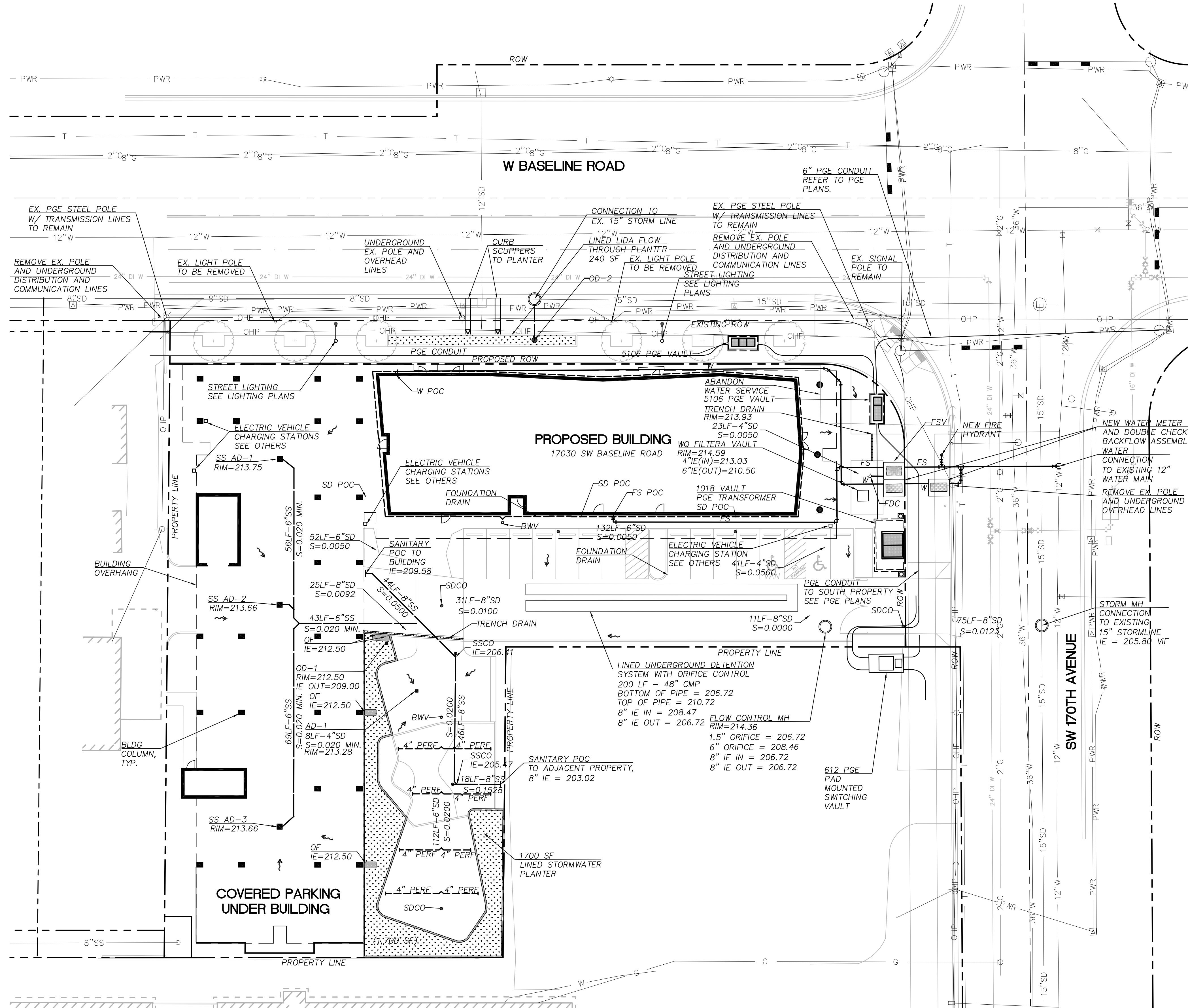
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GRADING PLAN

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SHEET:

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UTILITY PLAN SCALE: 1"=20'

GENERAL SHEET NOTES

- 1. ALL OVERHEAD UTILITIES TO BE UNDERGROUNDED ALONG SW BASELINE AND SW 170TH AVE PER CITY OF BEAVERTON REQUIREMENTS.
2. ROUTE ALL ROOF DRAINS TO STORMWATER PLANTER.
3. FOUNDATION DRAIN TO BE INSTALLED ALONG PERIMETER OF EACH BUILDING.
4. SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOODPLAIN.
5. PER CITY OF BEAVERTON'S INVENTORIES, THE SITE DOES NOT INCLUDE NATURAL RESOURCE AREAS, SIGNIFICANT TREES, AND HISTORIC TREES.
6. PER CLEAN WATER SERVICES SERVICE PROVIDER LETTER, THE SITE IS NOT WITHIN SENSITIVE AREAS.
7. NO WETLAND BOUNDARIES, UPLAND WOODED AREA BOUNDARIES, RIPARIAN AREA BOUNDARIES, ROCK OUTCROPPINGS, AND STREAMS FALL WITHIN THE SITE AREA.

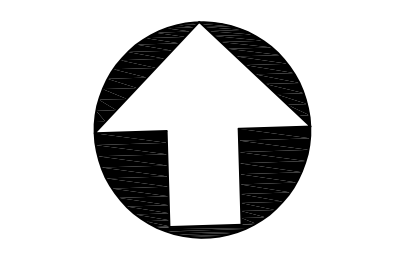
LEGEND

Table with 2 columns: SYMBOL and DESCRIPTION. Symbols include SD (Proposed Storm Drain), SS (Proposed Sanitary Drain), W (Proposed Water), FS (Proposed Fire Water), and G (Proposed Gas). A flow direction symbol is also defined.

ABBREVIATIONS

Table with 2 columns: SYMBOL and DESCRIPTION. Abbreviations include SS (Sanitary Sewer), SD (Storm Drain), G (Gas), W (Water), and FS (Fire Service).

NORTH ARROW + SCALE BAR



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PHASE: PUBLIC PLANS

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Table with 2 columns: DATE and DESCRIPTION.

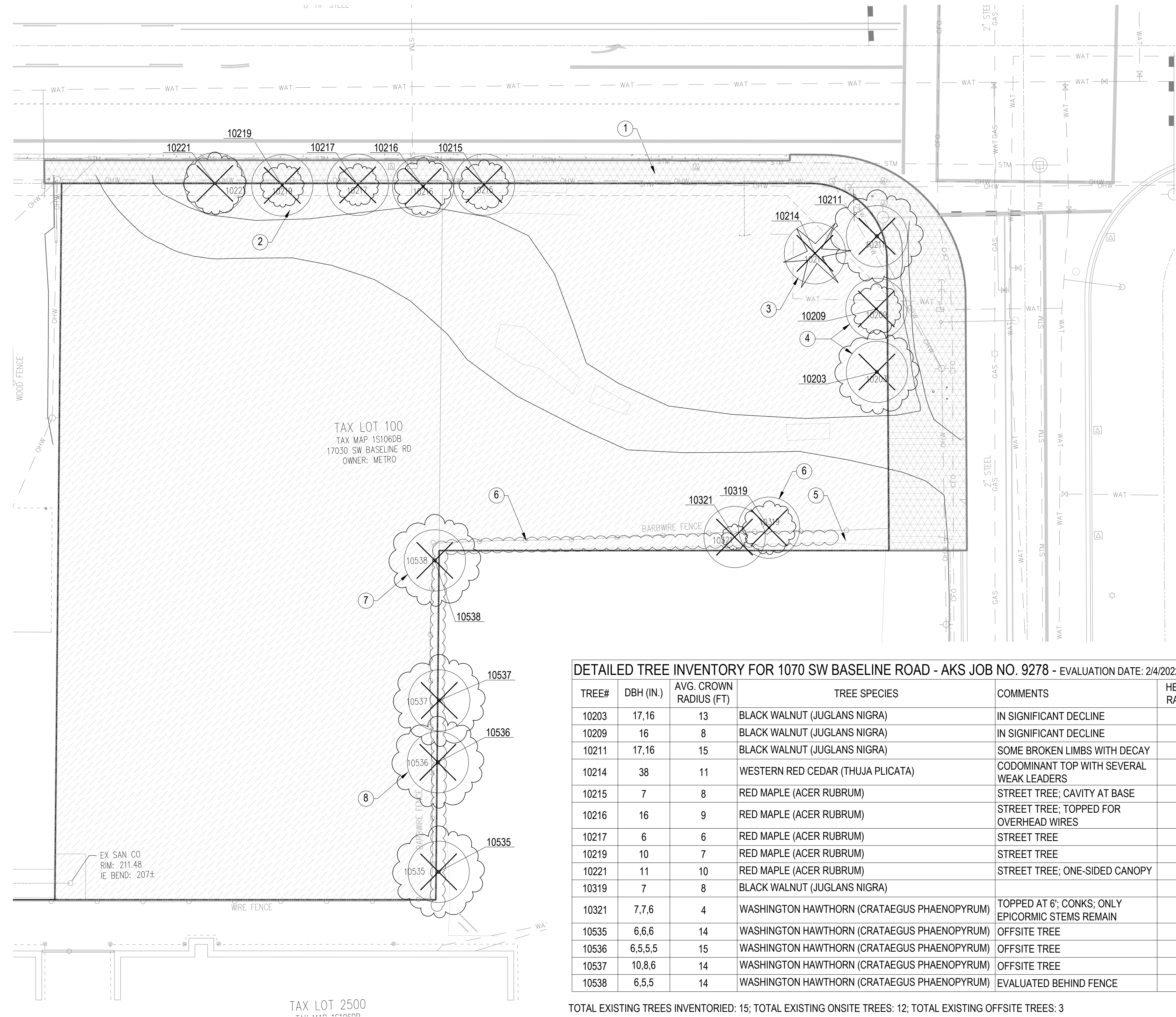
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DEMOLITION SCHEDULE

- CLEAR AND GRUB - ON SITE
- RIGHT-OF-WAY DEMOLITION AREA
- CLEARING AND DEMOLITION LIMITS
 REMOVE EVERYTHING WITHIN THIS AREA UNLESS OTHERWISE NOTED. REMOVE ALL IMPROVEMENTS; CLEAR AND GRUB TO UNIFORM DEPTH OF 6" IN PAVED AREAS, 4" IN NON-PAVED AREAS.
- TREE TO BE REMOVED
 XXXX= TREE I.D. NUMBER PER SURVEY

NOTES

1. REFER TO CIVIL DRAWINGS FOR DEMOLITION AND UTILITY COORDINATION.
2. REFER TO CIVIL DRAWINGS FOR RIGHT-OF-WAY SCOPE OF WORK.
3. THIS DRAWING IS BASED ON SURVEY INFORMATION PROVIDED BY AKS ENGINEERS DATED 2 / 22 / 2022.
4. REFERENCED ARBORIST EVALUATION AND TREE INVENTORY BY AKS ENGINEERING AND FORESTRY, BENNETT R. KOCSIS CERTIFIED ARBORIST #PH 997A

KEY NOTES

1. DIAGRAMMATIC PLAN SHOWING EXTENT OF SITE VS. RIGHT-OF-WAY CLEAR AND GRUB AREAS; REFER TO CIVIL DRAWINGS FOR SPECIFICS ON DEDICATIONS, DEMOLITION PLANS AND ADDITIONAL NOTES.
2. EXISTING STREET TREES WILL BE REMOVED DUE TO THE RIGHT-OF-WAY EXPANSION AT WEST BASELINE ROAD.
3. EXISTING WESTERN RED CEDAR AT CORNER WILL BE IN CONFLICT WITH THE BUILDING STRUCTURE AND PLAZA.
4. THE TWO SMALLER EXISTING WALNUT TREES (10209 & 10203) ARE IN POOR CONDITION AND DO NOT HAVE SIGNIFICANT VISUAL OR ENVIRONMENTAL VALUE; TREE 10211 IS IN BETTER CONDITION, HOWEVER IT WILL BE IN CONFLICT WITH FUTURE MODIFICATIONS TO THE RIGHT-OF-WAY, SIGHT LINES AND UTILITIES.
5. EXISTING INVASIVE SPECIES OBSERVED, SPREADING INTO EXISTING HEDGE AND TREES. TO BE REMOVED AND ERADICATED.
6. EXISTING TREES 10319 & 10321 ARE EMBEDDED IN OVERGROWN ARBORVITAE HEDGE, WHICH NEEDS TO BE REMOVED TO CLARIFY BOUNDARIES BETWEEN PROPERTIES.
7. EXISTING TREE 10538 IS IMMEDIATELY ADJACENT TO THE PROPERTY LINE, WHERE A FENCE AND DELINEATION OF THE PROPERTY NEEDS TO OCCUR.
8. EXISTING TREES 10537, 10536 & 10535 ARE LOCATED IN NEIGHBORING PROPERTY; OWNER REPRESENTATIVE FOR THE ADJACENT PROPERTY PROJECT HAS INDICATED THAT THE TREES MAY BE REMOVED DUE TO IMPACTS FROM IMPROVEMENTS TO BOTH PROJECTS.

DETAILED TREE INVENTORY FOR 1070 SW BASELINE ROAD - AKS JOB NO. 9278 - EVALUATION DATE: 2/4/2022 - EVALUATED BY BRK

TREE#	DBH (IN.)	AVG. CROWN RADIUS (FT)	TREE SPECIES	COMMENTS	HEALTH RATING	STRUCTURE RATING	NOTES
10203	17,16	13	BLACK WALNUT (JUGLANS NIGRA)	IN SIGNIFICANT DECLINE	3	3	A
10209	16	8	BLACK WALNUT (JUGLANS NIGRA)	IN SIGNIFICANT DECLINE	3	3	A
10211	17,16	15	BLACK WALNUT (JUGLANS NIGRA)	SOME BROKEN LIMBS WITH DECAY	2	2	A
10214	38	11	WESTERN RED CEDAR (THUJA PLICATA)	CODOMINANT TOP WITH SEVERAL WEAK LEADERS	2	2	A
10215	7	8	RED MAPLE (ACER RUBRUM)	STREET TREE; CAVITY AT BASE	1	2	C, D
10216	16	9	RED MAPLE (ACER RUBRUM)	STREET TREE; TOPPED FOR OVERHEAD WIRES	3	2	A, C
10217	6	6	RED MAPLE (ACER RUBRUM)	STREET TREE	1	1	C, D
10219	10	7	RED MAPLE (ACER RUBRUM)	STREET TREE	1	1	A, C
10221	11	10	RED MAPLE (ACER RUBRUM)	STREET TREE; ONE-SIDED CANOPY	1	2	A, C
10319	7	8	BLACK WALNUT (JUGLANS NIGRA)		1	1	D
10321	7,7,6	4	WASHINGTON HAWTHORN (CRATAEGUS PHAENOPYRUM)	TOPPED AT 6'; CONKS; ONLY EPICORMIC STEMS REMAIN	3	3	A
10535	6,6,6	14	WASHINGTON HAWTHORN (CRATAEGUS PHAENOPYRUM)	OFFSITE TREE	1	1	B
10536	6,5,5,5	15	WASHINGTON HAWTHORN (CRATAEGUS PHAENOPYRUM)	OFFSITE TREE	1	1	B
10537	10,8,6	14	WASHINGTON HAWTHORN (CRATAEGUS PHAENOPYRUM)	OFFSITE TREE	1	1	B
10538	6,5,5	14	WASHINGTON HAWTHORN (CRATAEGUS PHAENOPYRUM)	EVALUATED BEHIND FENCE	1	1	A

TOTAL EXISTING TREES INVENTORIED: 15; TOTAL EXISTING ONSITE TREES: 12; TOTAL EXISTING OFFSITE TREES: 3

HEALTH RATING:
 1 = GOOD HEALTH; 2 = FAIR HEALTH; 3 = POOR HEALTH

STRUCTURE RATING:
 1 = GOOD STRUCTURE; 2 = FAIR STRUCTURE; 3 = POOR STRUCTURE

NOTES LEGEND:
 A= ON-SITE COMMUNITY TREE (10" DBH or Larger); B= OFF-SITE COMMUNITY TREE; C= STREET TREE; D= EXEMPT TREE

Arborist Disclosure Statement:
 Arborists are tree specialists who use their education, knowledge, training, and experience to examine trees, recommend measures to enhance the health of trees, and attempt to reduce the risk of living near trees. The Client and Jurisdiction may choose to accept or disregard the recommendations of the arborist, or seek additional advice. Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like medicine, cannot be guaranteed. Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate all trees. Neither this author nor AKS Engineering & Forestry, LLC have assumed any responsibility for liability associated with the trees on or adjacent to this site.

1 TREE REMOVAL PLAN
 1" = 20' - 0"

PROJECT NUMBER: 2022

ELMONICA STATION

17030 SW BASELINE ROAD
 BEAVERTON, OR 97006

CLIENT:

REACH CDC

4150 S MOODY AVE
 PORTLAND, OR 97239

PLACE

735 NW 18TH AVE
 PORTLAND, OR 97209
 (503) 324 2000

PHASE:

PLANNING COMMISSION SET

REVISIONS:

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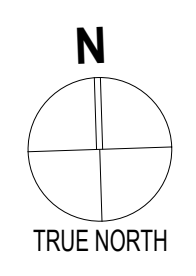
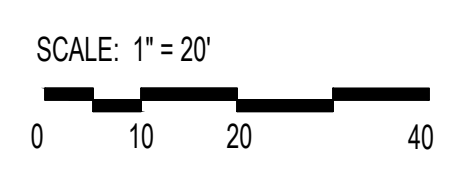
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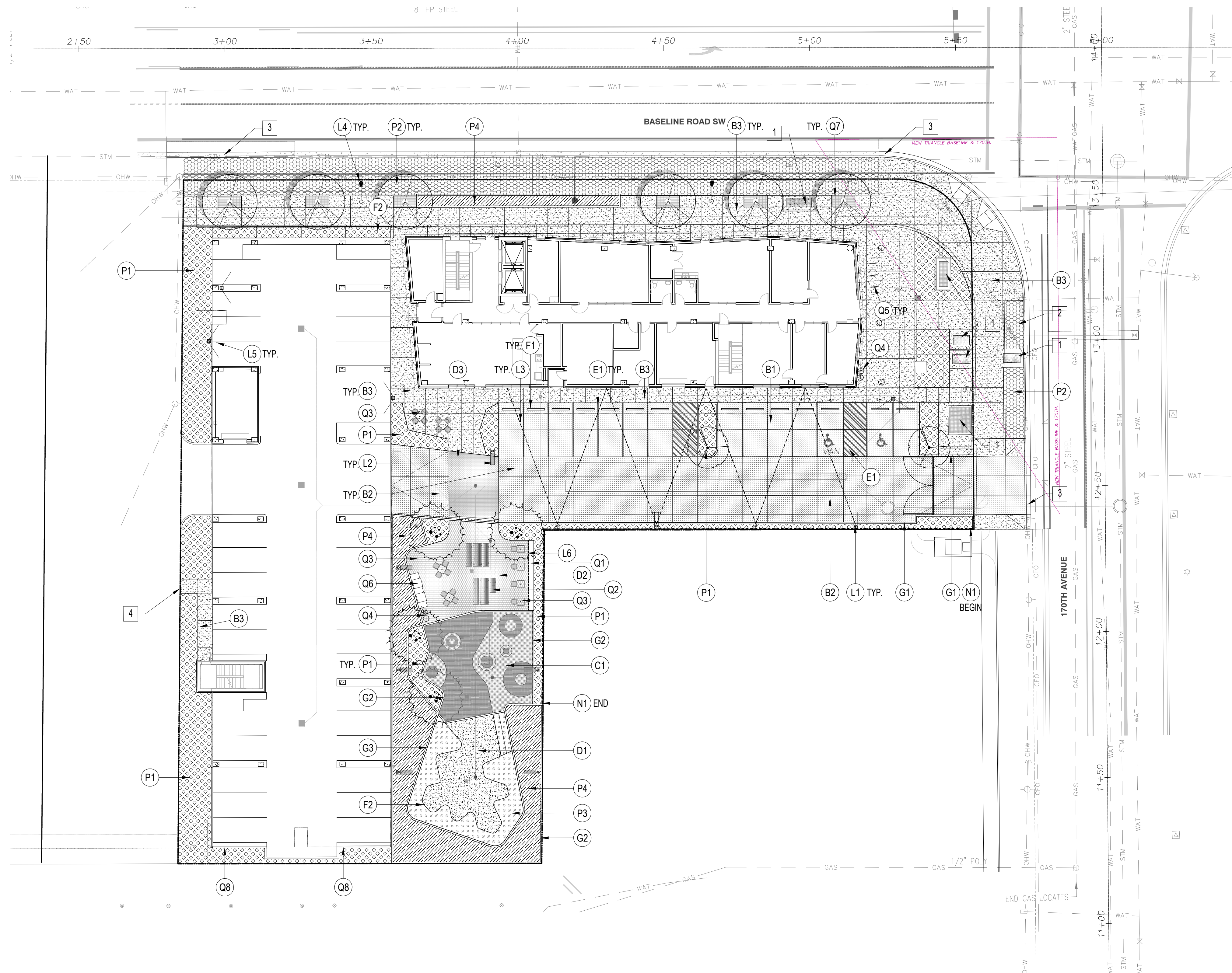
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 CHECKED BY: MJV
 DATE CREATED: 07/25/23

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L000

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MATERIALS LEGEND

PROPERTY LINE

TYP. TYPICAL

MATERIALS SCHEDULE

PAVEMENTS

- A1 ASPHALT PAVING - VEHICULAR (SEE CIVIL)
- B1 DECORATIVE CONCRETE PAVING - VEHICULAR TYPE 1
- HEAVY BROOM FINISH FOR PED-CROSSING, PARKING STALLS
- B2 DECORATIVE CONCRETE PAVING - VEHICULAR TYPE 2
- EXPOSED AGG. FOR DRIVE AISLE ZONE
- B3 CONCRETE PAVING - PEDESTRIAN
- MED. BROOM FINISH, SEE CIVIL FOR ROW WORK
- C1 RUBBERIZED PLAY SURFACING AND 24"-30" HT. MOUNDS
- PEBBLEFLEX OR SIM.; 3 COLORS MAX.
- D1 CRUSHED STONE WALK AT COMMUNITY GARDEN
- CRUSHED BASALT, 1/4 INCH-0 W/ FINES
- D2 CONCRETE UNIT PAVING TYPE 1: PEDESTRIAN
- WILLAMETTE GRAYSTONE CITY STONE V SERIES
- 8x8" INTERLOCKING PAVERS, 2" THICKNESS
- D3 CONCRETE UNIT PAVING TYPE 2: VEHICULAR
- WILLAMETTE GRAYSTONE CITY STONE V SERIES
- 4x8" INTERLOCKING PAVERS, 4" THICKNESS
- E1 PARKING STRIPING (SEE CIVIL)
- F1 PARKING STALL WHEEL STOP (SEE CIVIL)
- F2 FABRICATED METAL PLANTER - SHEET METAL, 24" HT, RUSTED FINISH

STAIRS, RAMPS, CURBS AND WALLS

- G1 CONCRETE CURB - RAISED
- G2 CONCRETE CURB - FLUSH (6" BAND, 6"-12" DEPTH)
- G3 STORM WATER PLANTER WALL

OUTDOOR LIGHTING - SEE ELECTRICAL

- L1 LIGHT POLE - TYPE 1 - PARKING
- SEE ELECTRICAL
- L2 LIGHT POLE - TYPE 2 - CENTRAL SPACE
- SEE ELECTRICAL
- L3 'FESTIVAL STREET' STRING LIGHTING & POLES
- SEE ELECTRICAL
- L4 STREET LIGHTING (SEE CIVIL)
- L5 ELECTRIC VEHICLE CHARGING STATIONS
- SEE ELECTRICAL, CIVIL
- L6 LINEAR LED LIGHT AT C.I.P. CONCRETE BENCH

RAILINGS, GATES, AND FENCES

- N1 4' WOOD FENCE ("GOOD NEIGHBOR")

SITE FURNISHINGS

- Q1 C.I.P. CONCRETE BENCH W/ LINEAR LED
- Q2 PICNIC TABLE - FORMS + SURFACES
- TYPE 1: VECTOR SYSTEM 6 TABLE ENSEMBLE
- TYPE 2: VECTOR SYSTEM 6 TABLE ENSEMBLE, ADA OPTION
- Q3 TABLE & CHAIRS - LANDSCAPE FORMS
- CHIPMAN
- Q4 LITTER/RECYCLING - FORMS + SURFACES
- TONYO 36 GAL. SPLIT STREAM W / RAIN HAT
- STAINLESS STEEL BODY & DOORS, SOLID PANELS
- Q5 BIKE RACK - COLUMBIA CASCADE COMPANY
- TIMBERFORM CYCLOOPS MODEL NO. 2170-3-06
- Q6 OUTDOOR GRILL & COUNTER. TBD.
- Q7 TREE GRATE AT STREET TREE WELLS - URBAN ACCESSORIES
- KIVA RTC
- Q8 WALL TRELLIS FOR VERTICAL PLANTING

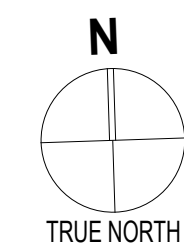
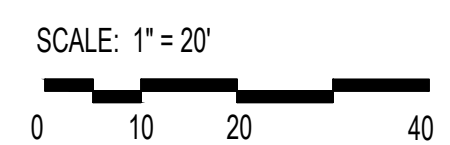
PLANTING

- NEW LANDSCAPE TREE - SMALL TO MEDIUM DECIDUOUS, 2" CAL.
- NEW EVERGREEN SHRUBS
- NEW STREET TREE - PER STREET TREE PLANTING LIST, CITY OF BEAVERTON
- P1 SHRUB PLANTING - SMALL TO MED., MAX. 4' W x 4' H
- P2 R.O.W. PLANTING (SEE PLANTING PLAN)
- P3 PLANTING SOIL FOR COMMUNITY GARDEN
- P4 STORM WATER PLANTING - PER CLEAN WATER SERVICES L.I.D.A. REQUIREMENTS

KEY NOTES

- 1 UTILITY VAULT - SEE CIVIL PLANS
- 2 FIRE HYDRANT - SEE CIVIL PLANS
- 3 CURB & GUTTER - SEE CIVIL PLANS
- 4 WALKWAY WILL CONNECT TO FUTURE ADJACENT PROJECT

1 LANDSCAPE MATERIALS PLAN
1" = 20' - 0"



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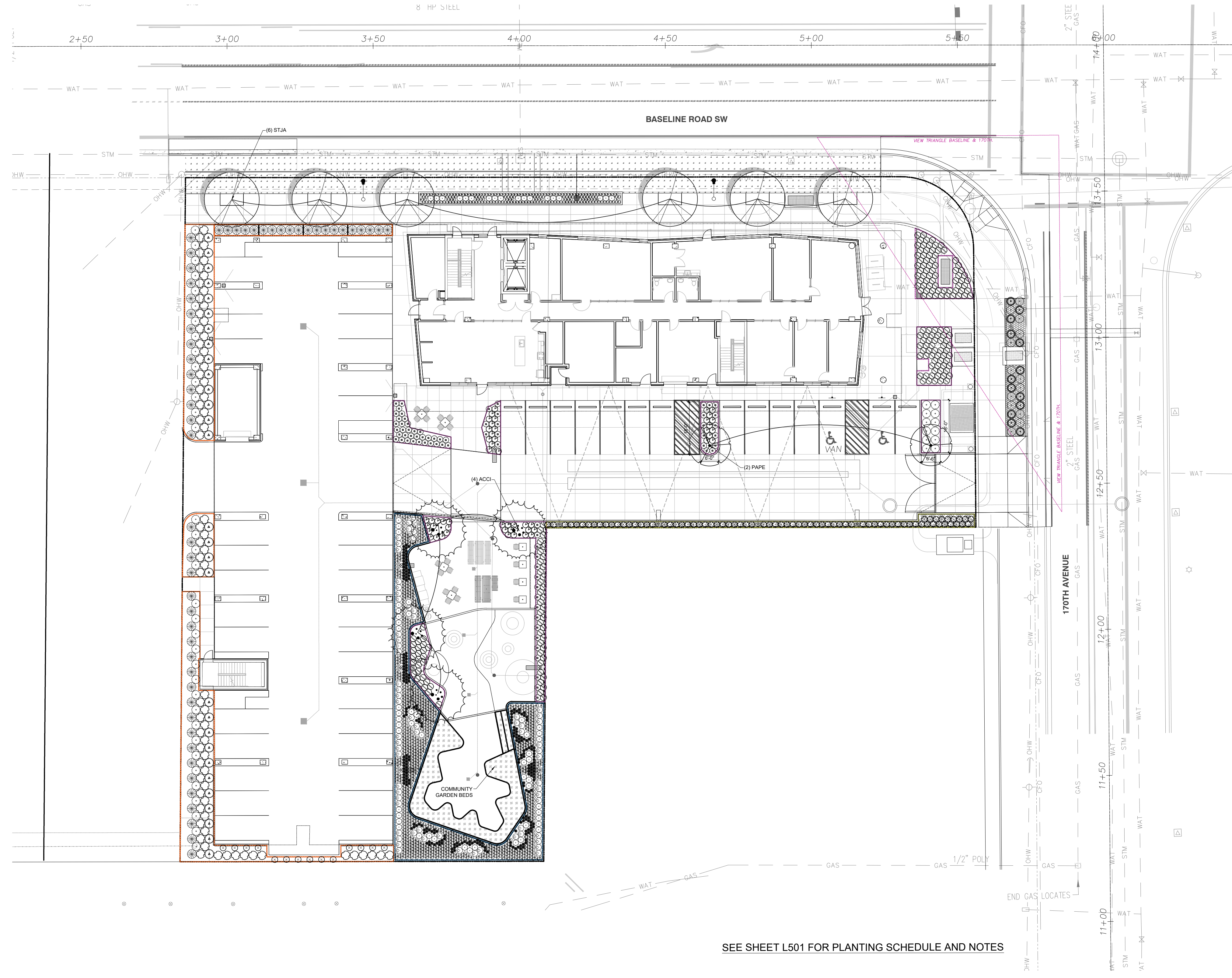
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MATERIALS PLAN

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CHECKED BY: M.J.V.
DATE CREATED: 07/25/23

SHEET:

L100



SEE SHEET L501 FOR PLANTING SCHEDULE AND NOTES

LAND USE AREA SUMMARY:

A) ALTHOUGH 60.05.25.3 HAS A MINIMUM LANDSCAPE AREA REQUIREMENT OF 15% OF GROSS SITE AREA, WE ARE PURSUING GUIDELINE 60.05.45.1.A-D

LANDSCAPE AREAS PROVIDED FOR REFERENCE ONLY:

- PLANTING AT GARAGE PERIMETER
2,331.2 SF
 - PLANTING AT PARKING, OUTDOOR AMENITY & PLAZA
1,464.4
 - STORM WATER PLANTER AREA
1,717.5
 - BUFFER & SCREEN BETWEEN PARKING & NEIGHBOR
347.1 SF
- TOTAL
5,860.2 SF

B) 60.05.25.4 E - MINIMUM PLANTING REQUIREMENTS (PURSUING GUIDELINE 60.05.45.1.A-D)

(1) TREE FOR EVERY (800) SF OF REQ. LANDSCAPE AREA

$6,322 / 800 = 7.9 = 8$ TREES

PROVIDED: (4) ACCI & (2) PAPE.
SEE PLANTING SCHEDULE

(1) EVERGREEN SHRUB MIN. MATURE HT 48" FOR EVERY (400) SF OF REQ. LANDSCAPE AREA

$6,322 / 400 = 15.8 = 16$ SHRUBS

PROVIDED: (191) CETH; (76) GASH; (33) CIPU;
(36) MAAQ & (55) POMU

LIVE GROUND COVER (LOW HEIGHT PLANTS, SHRUBS OR GRASS) IN PORTIONS OF LANDSCAPE AREAS NOT OCCUPIED BY TREES OR EVERGREEN SHRUBS; GRAVEL & MINERAL MULCH MAY BE USED BUT LIMITED TO NO MORE THAN 25% OF THE REQUIRED LANDSCAPE AREA

PROVIDED: SHRUBS, GRASSES, GROUND COVERS AND VINES THROUGHOUT

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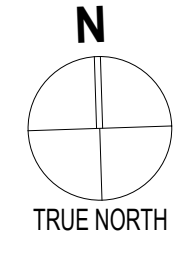
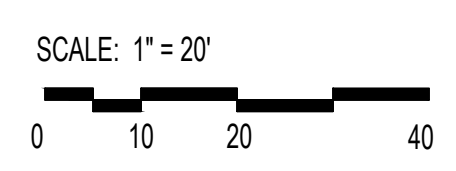
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SHEET TITLE:
PLANTING PLAN

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 DATE CREATED: 07/25/23

SHEET:
L500

1 LANDSCAPE PLANTING PLAN
 1" = 20' - 0"



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PLANT SCHEDULE							
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	CONT. SIZE	SPACING	QTY. & TYPE	SIZE AT MATURITY
BARBEQUE AREA, PLAY AREA, PARKING AND PLAZA AREA							
*		CEH	CEANOTHUS THRYSIFLORUS	BLUE BLOSSOM	#1	2' O.C. (189 CT.) E	4-12' HT
*		GASH	GAULTHERIA SHALLON	SALAL	#1	2' O.C. (72 CT.) E	4' HT
*		OXOR	OXALIS OREGANA	REDWOOD SORREL	#1	2' O.C. (78 CT.) E	4" HT (G.COVER)
*		SPSP	SPIRAEA SPLENDENS	MOUNTAIN SPIRAEA	#1	2' O.C. (50 CT.) D	3'-4' HT
GARAGE PERIMETER PLANTING MIX							
#		CIPU	CISTUS X PURPUREUS	ROCKROSE	#2	3' O.C. (33 CT.) E	4' HT
#		COSE	CORNUS SERICEA 'KELSEY'	KELSEY RED TWIG DOGWOOD	#3	3' O.C. (78 CT.) D	2.5' HT
*		MAAQ	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	#3	3' O.C. (47 CT.) E	3' HT
*		POMU	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#3	3' O.C. (55 CT.) E	4' HT
BASELINE RD. TEMPORARY SEEDED LAWN MIX (1-2 LBS PER 1000 SQ FT)							
		SEM X	LOLIUM PERENNE	KARMA PERENNIAL RYEGRASS	-	-	-
		SEM X	FESTUCA TRACHYPHYLLA	EUREKA II HARD FESCUE	-	-	-
		SEM X	FESTUCA OVINA 'QUATRO'	QUATRO TETRAPLOID SHEEP FESCUE	-	-	-
		SEM X	ACHILLEA MILLEFOLIUM	WHITE YARROW	-	-	-
		SEM X	TRIFOLIUM REPENS	WHITE CLOVER	-	-	-
		SEM X	BELLIS PERENNIS	ENGLISH DAISY	-	-	-
		SEM X	LOBULARIA MARITIMA	SWEET ASYLUM	-	-	-
		SEM X	NEMOPHILA MENZIESSII	BABY BLUE EYES	-	-	-
		SEM X	TRIFOLIUM FRAGIFERUM	STRAWVERRY CLOVER	-	-	-
RIGHT-OF-WAY PLANTING							
#		FRCH	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	SP4	12" O.C. (342 CT.) E	GROUNDCOVER AT 170TH
*		MAAQ	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	#3	3' O.C. (13 CT.) E	3' HT AT 170TH & EAST PARKING EDGE

STORMWATER MIX (ZONE A)							
*		CADE	CAREX Densa	DENSE HEDGE	#1	12" O.C.	
*		CAOB	CAREX OBNUPTA	SLOUGH HEDGE	#1	12" O.C.	
*		DECA	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	#3	2' O.C.	PRIVATE FACILITY ONLY
*		IRDO	IRIS DOUGLASIANA	DOUGLAS IRIS	#1	12' O.C.	PRIVATE FACILITY ONLY
*		JUPA	JUNCUS PATENS	SPREADING RUSH	#1	2' O.C.	

NOTE: THESE ARE PRELIMINARY FOR LAND USE. STORMWATER PLANTERS FINAL PLANTING SELECTIONS WILL BE REFINED FOR PERMIT SUBMISSION PER CLEAN WATER SERVICES' LIDA HANDBOOK AND APPROVED PLANTING LISTS.

CLIMBING VINES (SOUTH GARAGE WALL)							
#		LOHE	LONICERA X HECKROTII	GOLD FLAME HONEYSUCKLE	#2	4' O.C. (14 CT.) D	10-15' HT

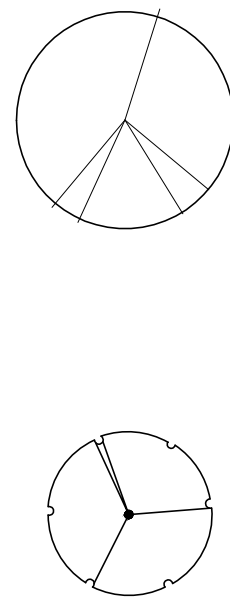
MISC.	AREA
	BARK MULCH 347 SF
	COMMUNITY GARDEN BEDS 627 SF

- * INDICATES NATIVE / NATURALIZED SPECIES IN OREGON.
- # INDICATES ADAPTIVE SPECIES (THRIVES IN THE REGION, LOW WATER USE ONCE ESTABLISHED)
 TYPE: E = EVERGREEN D = DECIDUOUS

PLANTING NOTES

- VERIFY AND COORDINATE WORK AROUND ALL UNDERGROUND UTILITIES BEFORE EXCAVATION. NOTIFY ALL UTILITY PROVIDERS AT LEAST TWO (2) WORKING DAYS PRIOR TO BEGINNING WORK.
- VERIFY THAT THE CONDITIONS ARE SUITABLE TO PROMOTE HEALTHY PLANT GROWTH. DO NOT PROCEED IF CONDITIONS DETRIMENTAL TO HEALTHY GROWING ENVIRONMENT ARE PRESENT, INCLUDING OVER-COMPACTED SOILS, ADVERSE DRAINAGE CONDITIONS, DEBRIS, OR OTHER HARMFUL CIRCUMSTANCES. PROCEEDING WITHOUT NOTIFICATION DENOTES ACCEPTANCE.
- COORDINATE WITH OTHER SUBCONTRACTORS AND TRADES TO ENSURE PROTECTION OF GROWING CONDITIONS AND PLANT MATERIALS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL PLANTING REQUIREMENTS, METHODS, AND MATERIALS.
- VERIFY PLANT QUANTITIES SHOWN ON THE PLANS BASED ON GRAPHIC REPRESENTATION. QUANTITIES SHOWN ARE FOR CONTRACTOR CONVENIENCE ONLY.
- PROVIDE POSITIVE DRAINAGE FOR ALL PLANTING AREAS.
- UNLESS OTHERWISE INDICATED, ALL PLANTINGS SHALL BE TRIANGULARLY SPACED.
- LABELLING REFERS TO ALL ADJACENT IDENTICAL SYMBOLS WHERE PLANTS ARE MASSED. LABEL FOR MASS INDICATES TOTAL NUMBER OF PLANTS IN GROUP, EVEN IF THE GROUP IS SPREAD OVER MORE THAN ONE SHEET.

TREE SCHEDULE								
SYMBOL	QTY.	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	SPACING	TYPE	NOTES
	6	STJA	STYRAX JAPONICUS 'EMERALD PAGODA'	EMERALD PAGODA JAPANESE SNOWBELL	2 1/2" CAL.	AS SHOWN	DECIDUOUS	8-10' HT., 24" MIN. ROOT BALL DIAMETER, 14.5" MIN. ROOT BALL DEPTH. APPROVED TREE FOR MIN. 4' PLANTING AREA, WITH OVERHEAD UTILITY
	4	ACCI	ACER CIRCINATUM	VINE MAPLE	2 1/2" CAL.	AS SHOWN	DECIDUOUS	12-14' HT., 24" MIN. ROOT BALL DIAMETER, 14.5" MIN. ROOT BALL DEPTH. EVEN BRANCHING, SPECIMEN QUALITY
	2	PAPE	PARROTIA PERSICA 'VANESSA'	'VANESSA' IRONWOOD	2 1/2" CAL.	AS SHOWN	DECIDUOUS	12-14' HT., 24" MIN. ROOT BALL DIAMETER, 14.5" MIN. ROOT BALL DEPTH. EVEN BRANCHING; SPECIMEN QUALITY
LARGE SHRUBS								
	9	NADO	NANDINA DOMESTICA 'GULF STREAM'	HEAVENLY BAMBOO	#3 CONTAINER	AS SHOWN	EVERGREEN	SIZE AT MATURITY: 3' HT, 3' W



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 (503) 334 2000

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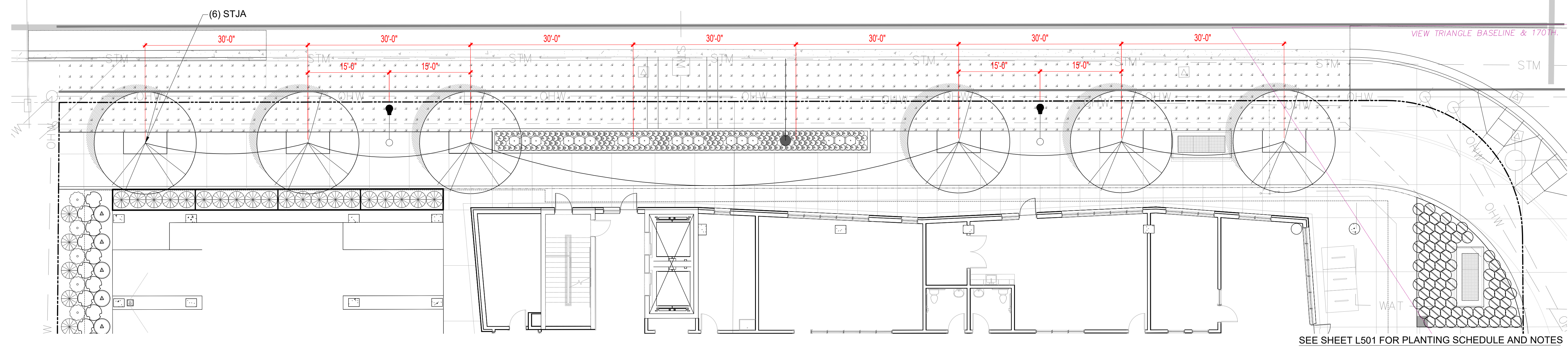
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PLANTING SCHEDULE & NOTES

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 DATE CREATED: 07/25/23

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L501

1 PLANTING SCHEDULE
 NTS



PROJECT NUMBER: 2022

ELMONICA STATION

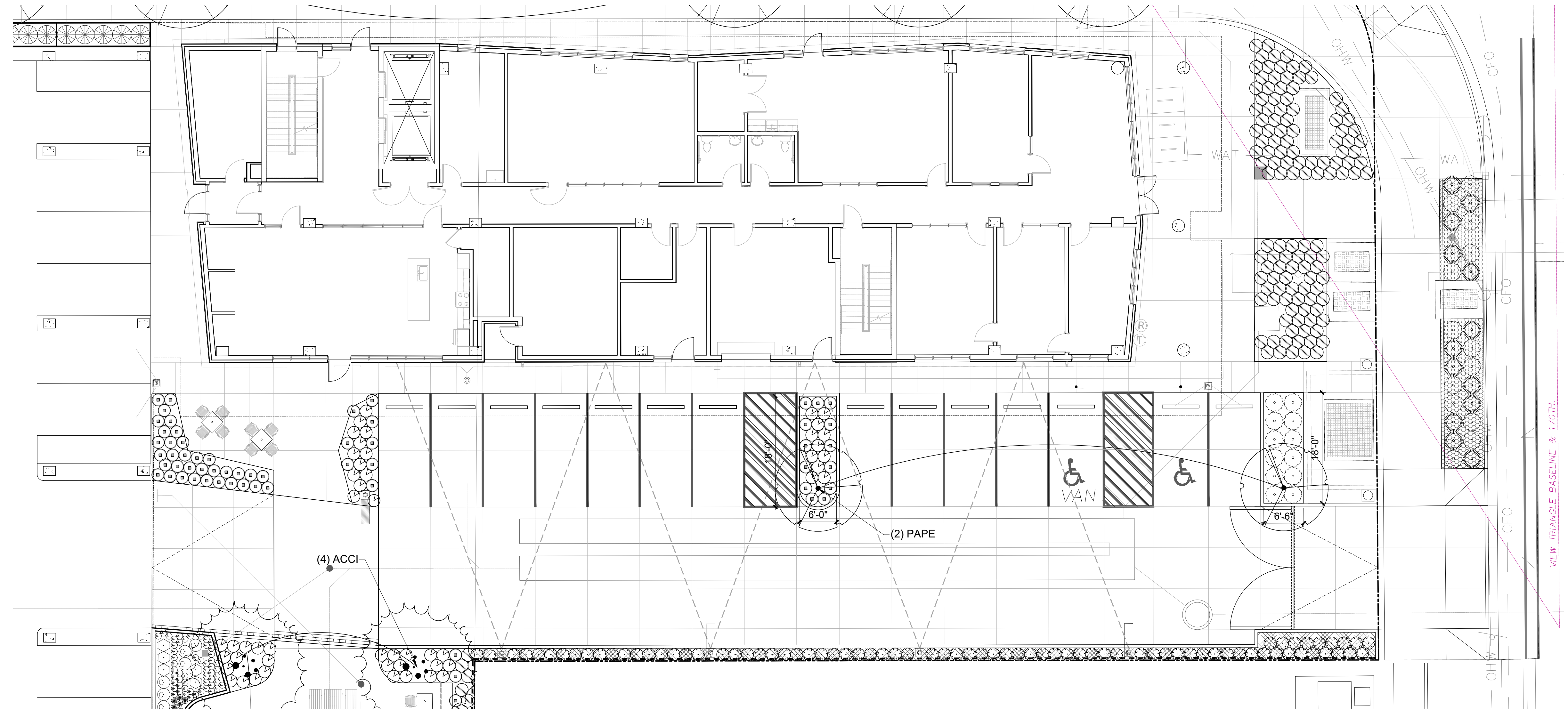
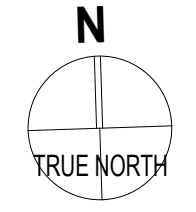
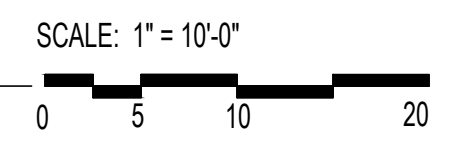
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SEE SHEET L501 FOR PLANTING SCHEDULE AND NOTES

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1 ENLARGED PLANTING PLAN - BASELINE
1" = 10'-0"



SEE SHEET L501 FOR PLANTING SCHEDULE AND NOTES

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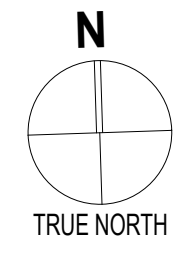
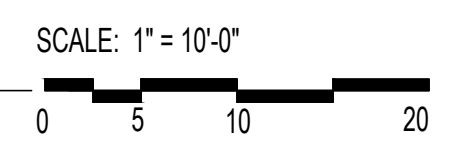
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DRAWN BY: MCS
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DATE CREATED: 07/25/23
SHEET:

L502

2 ENLARGED PLANTING PLAN - PARKING AND 170th AVE.
1" = 10'-0"



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4150 S MOODY AVE
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 (503) 324 2100

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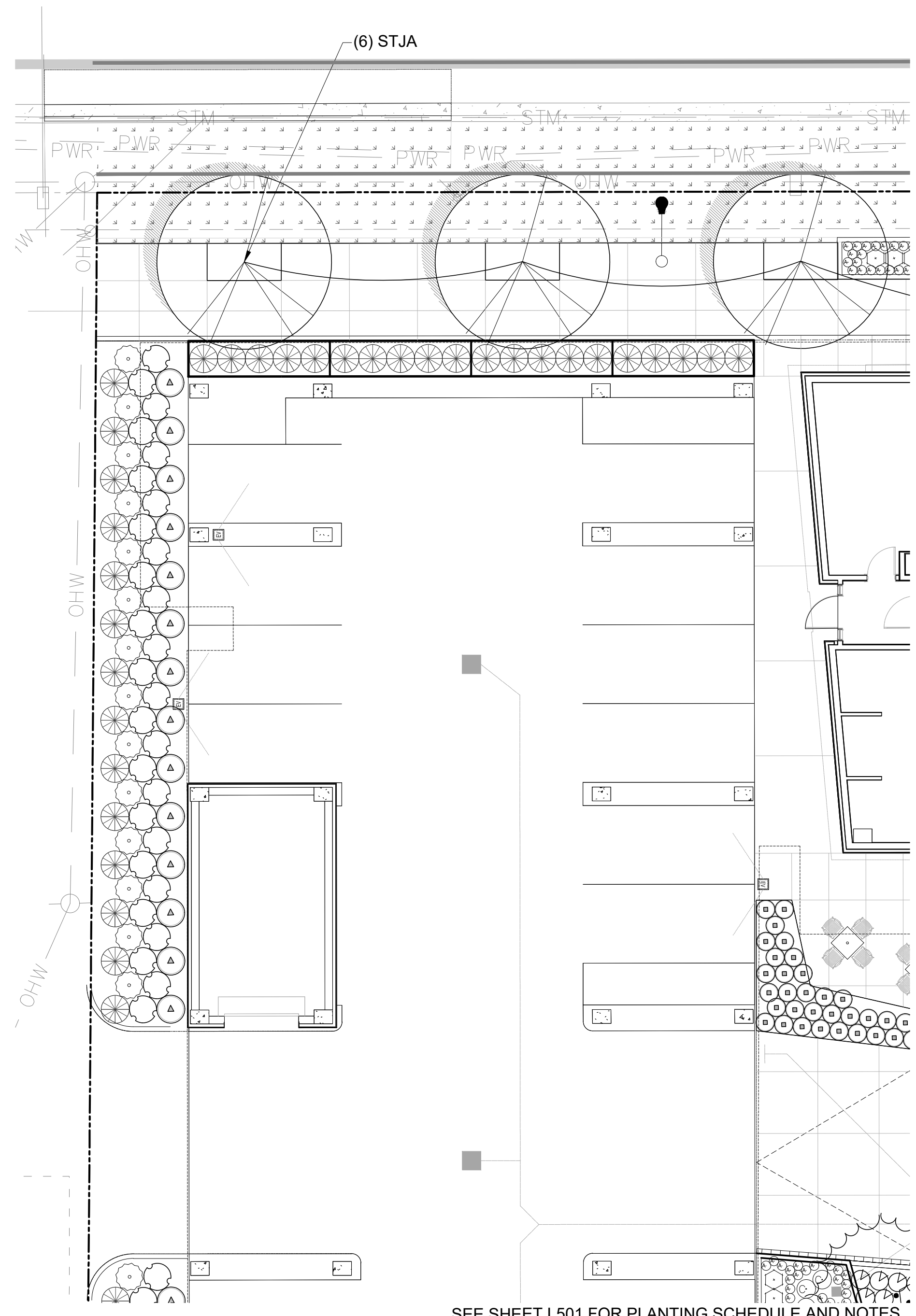
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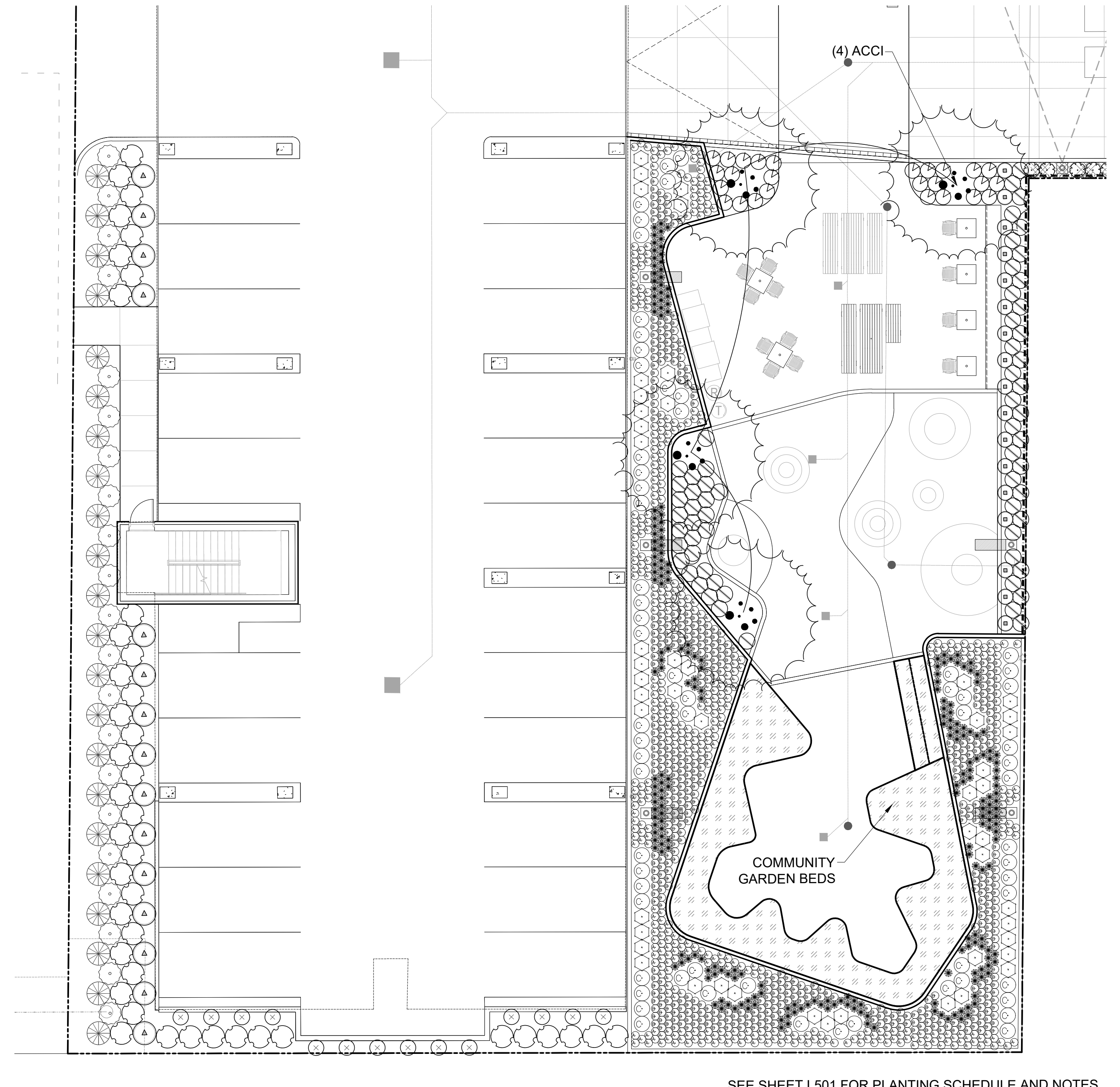
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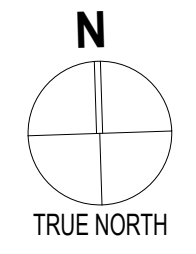
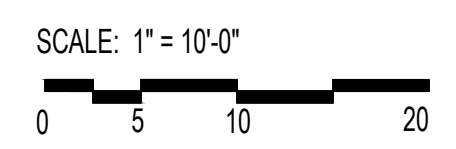
SEE SHEET L501 FOR PLANTING SCHEDULE AND NOTES

1 ENLARGED PLANTING PLAN - GARAGE PERIMETER NORTH
 1" = 10' - 0"



SEE SHEET L501 FOR PLANTING SCHEDULE AND NOTES

2 ENLARGED PLANTING PLAN - GARAGE PERIMETER SOUTH & AMENITY SPACE
 1" = 10' - 0"



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#	DATE	DESCRIPTION
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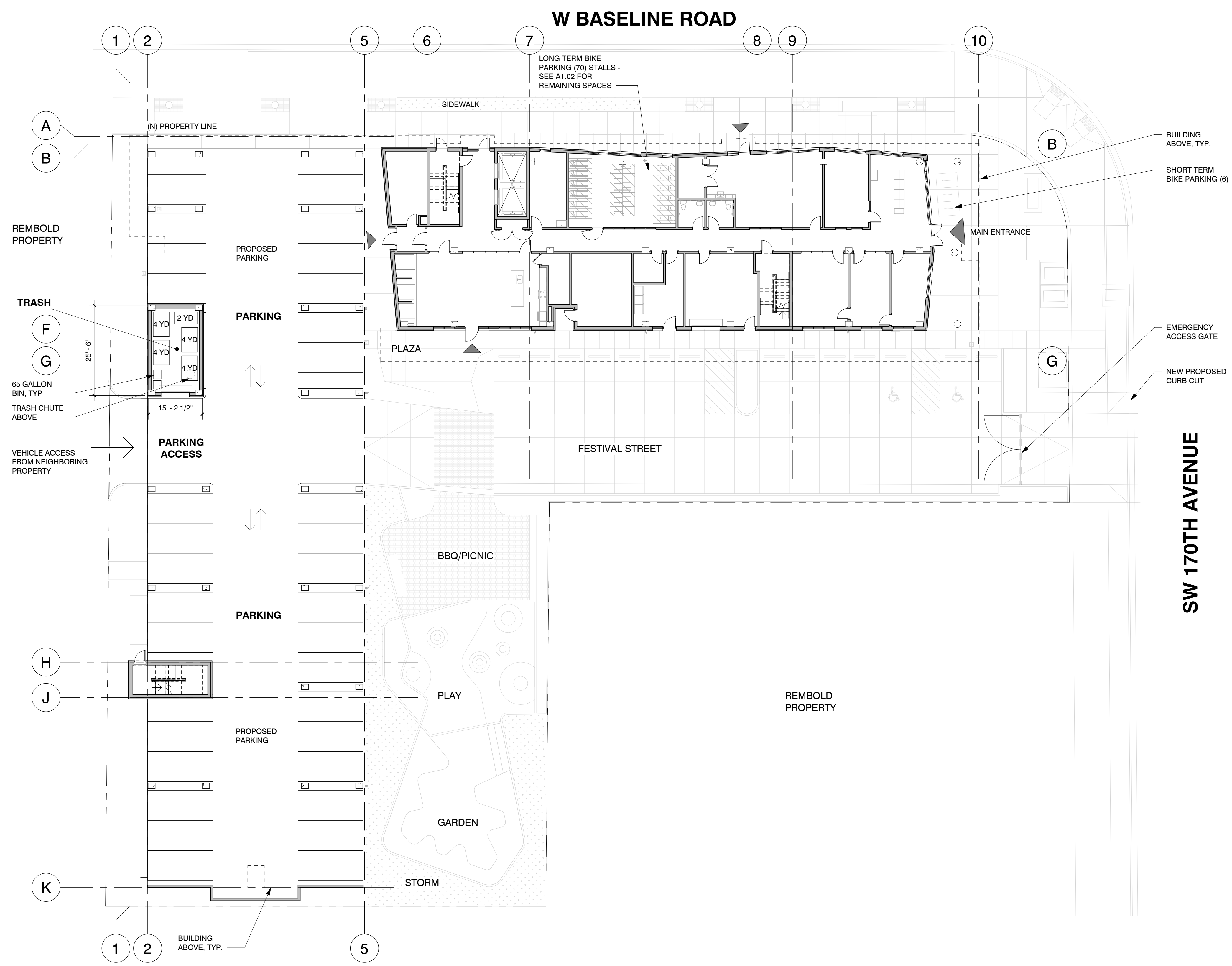
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LEVEL 01 PLAN

DRAWN BY: BH
 CHECKED BY: CK
 DATE CREATED: 08/03/23

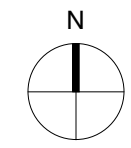
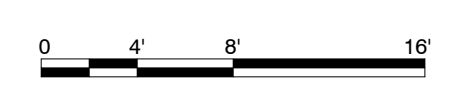
SHEET:

A1.01

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1 LEVEL 01 PLAN
 A1.01 1/16" = 1'-0"



8/4/2023 9:28:10 AM C:\Users\Christina\Documents\RevitLocal\23_0801 Elmonica R21_christinaPWD6f1.rvt

PROJECT NUMBER: 2022

ELMONICA STATION

17030 SW BASELINE ROAD
 BEAVERTON, OR 97006

CLIENT:
REACH CDC

4150 S MOODY AVE
 PORTLAND, OR 97239

PHASE:
LAND USE

REVISIONS:

#	DATE	DESCRIPTION
SHEET TITLE: LEVELS 02-04 PLAN		

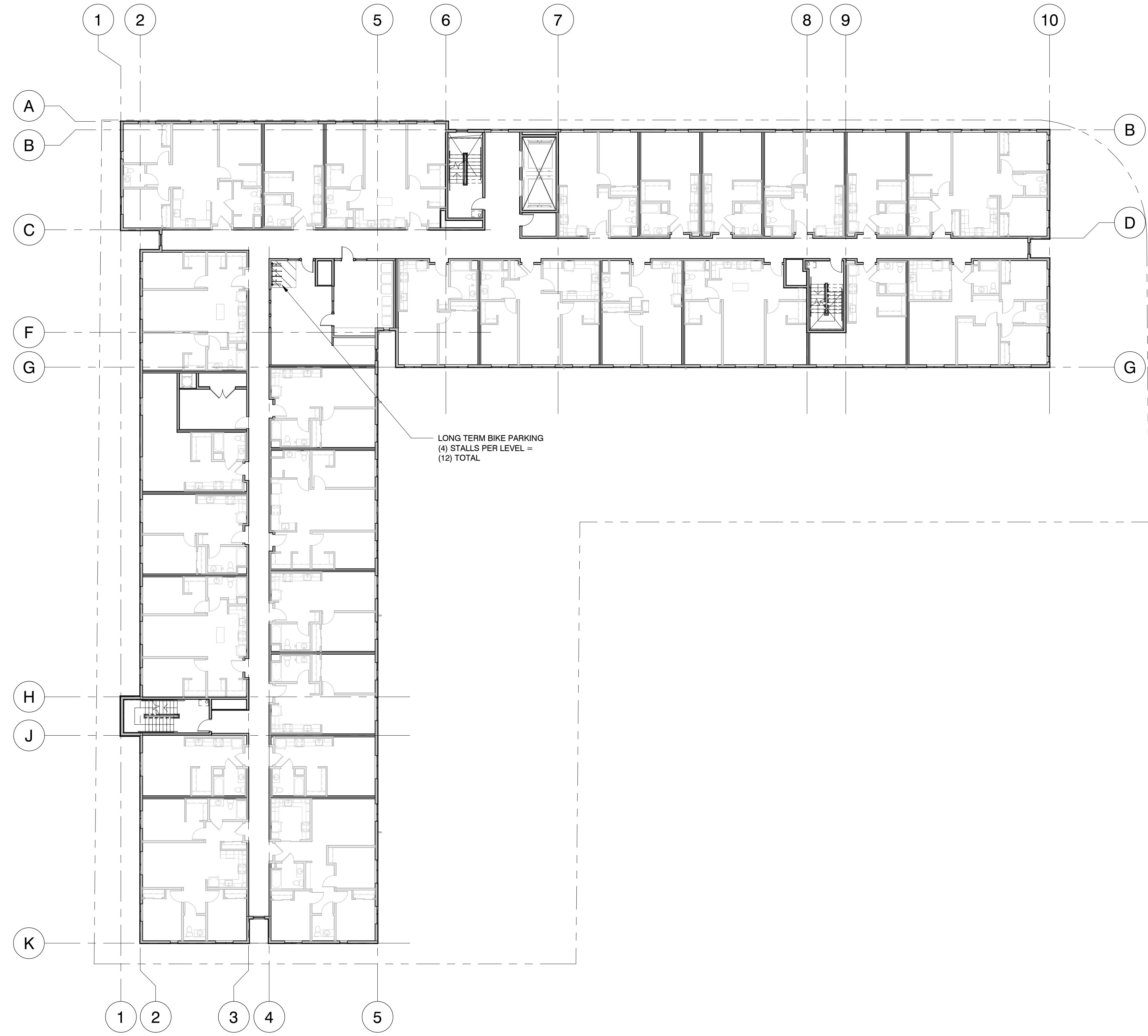
DRAWN BY: BH
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 DATE CREATED: 08/03/23

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A1.02

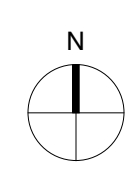
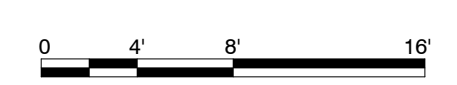
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W BASELINE ROAD

SW 170TH AVENUE



1 LEVEL 02-04 PLAN
 A1.02 1/16" = 1'-0"



PROJECT NUMBER: 2022

ELMONICA STATION

17030 SW BASELINE ROAD
 BEAVERTON, OR 97006

CLIENT:
REACH CDC

4150 S MOODY AVE
 PORTLAND, OR 97239

PHASE:
LAND USE

REVISIONS:

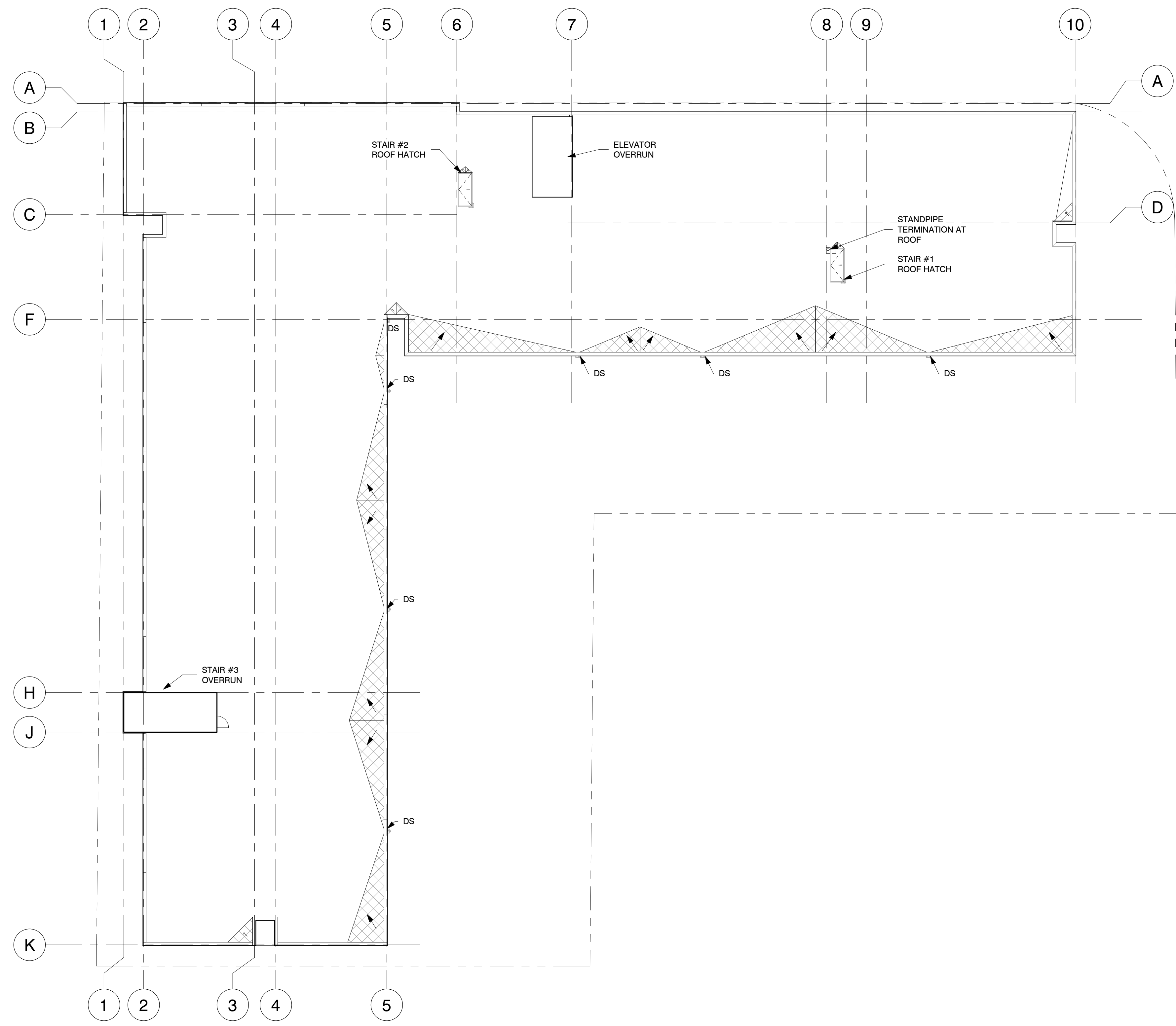
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SHEET TITLE:
ROOF PLAN

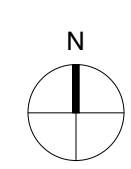
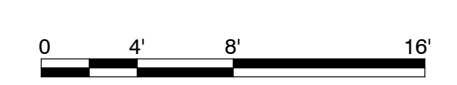
DRAWN BY: BH
 CHECKED BY: CK
 DATE CREATED: 08/03/23

SHEET:
A1.03

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1 ROOF PLAN
 A1.03 1/16" = 1'-0"



8/4/2023 9:28:18 AM
 C:\Users\Christina\Documents\RevitLocal\23_0801 Eimonica R21_christinaPWD6fl.rvt

ELEVATION NOTES

1. CERACLAD TEXTURED (FRESH CREAM)
2. CERACLAD ZEN GARDEN TEXTURED
3 CUSTOM COLORS
3. CERACLAD SMOOTH (SILK)
4. CERACLAD MOSAIC TILE TEXTURED (WHITE)
5. SHEET METAL REVEAL, SEE 3/A2.03 & 4/A2.03
6. SHEET METAL PARAPET CAP WITH REVEAL, SEE 5/A2.03
7. SHEET METAL PARAPET CAP
8. ALUMINUM STOREFRONT
9. EXPOSED CONCRETE, GRAFFITI SEAL AT EXTERIOR LOCATIONS
10. METAL SCUPPER, & DOWNSPOUT
11. WOOD SOFFIT
12. STEEL CANOPY, POWDER COATED
13. VERTICAL STEEL SCREEN, WITH INTERMEDIATE DIAGONAL MEMBERS, POWDER COATED
14. VINYL WINDOW WITH TRIM, SEE 3/A2.04

PROJECT NUMBER: 2022

**ELMONICA
STATION**

17030 SW BASELINE ROAD
BEAVERTON, OR 97006

CLIENT:
REACH CDC

4150 S MOODY AVE
PORTLAND, OR 97239

PHASE:
LAND USE

REVISIONS:

DATE	DESCRIPTION
------	-------------

SHEET TITLE:
**BUILDING
ELEVATIONS**

DRAWN BY: BH
CHECKED BY: CK
DATE CREATED: 08/03/23

SHEET:

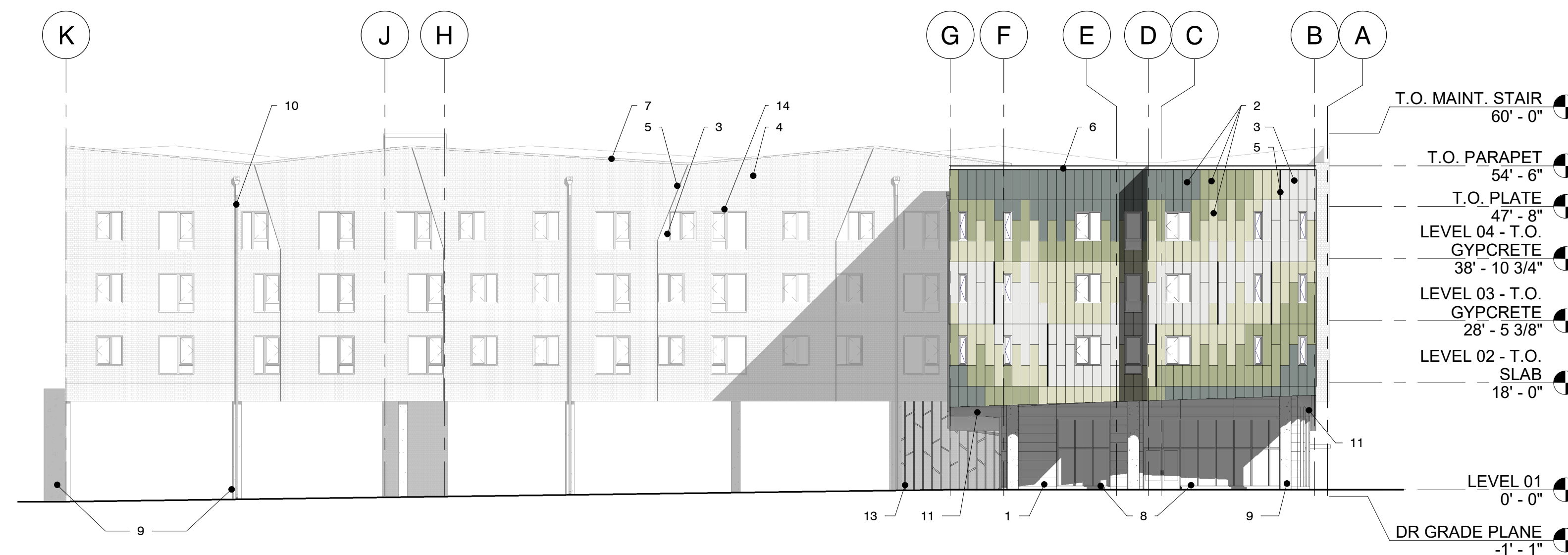
A2.01

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Salazar Architect, Inc.



2 NORTH ELEVATION
A2.01 1/16" = 1'-0"



1 EAST ELEVATION
A2.01 1/16" = 1'-0"

ELEVATION NOTES

1. CERACLAD TEXTURED (FRESH CREAM)
2. CERACLAD ZEN GARDEN TEXTURED
3 CUSTOM COLORS
3. CERACLAD SMOOTH (SILK)
4. CERACLAD MOSAIC TILE TEXTURED (WHITE)
5. SHEET METAL REVEAL, SEE 3/A2.03 & 4/A2.03
6. SHEET METAL PARAPET CAP WITH REVEAL, SEE 5/A2.03
7. SHEET METAL PARAPET CAP
8. ALUMINUM STOREFRONT
9. EXPOSED CONCRETE, GRAFFITI SEAL AT EXTERIOR
LOCATIONS
10. METAL SCUPPER, & DOWNSPOUT
11. WOOD SOFFIT
12. STEEL CANOPY, POWDER COATED
13. VERTICAL STEEL SCREEN, WITH INTERMEDIATE
DIAGONAL MEMBERS, POWDER COATED
14. VINYL WINDOW WITH TRIM, SEE 3/A2.04

PROJECT NUMBER: 2022

**ELMONICA
STATION**

17030 SW BASELINE ROAD
BEAVERTON, OR 97006

CLIENT:
REACH CDC

4150 S MOODY AVE
PORTLAND, OR 97239

PHASE:
LAND USE

REVISIONS:

#	DATE	DESCRIPTION
---	------	-------------

SHEET TITLE:
**BUILDING
ELEVATIONS**

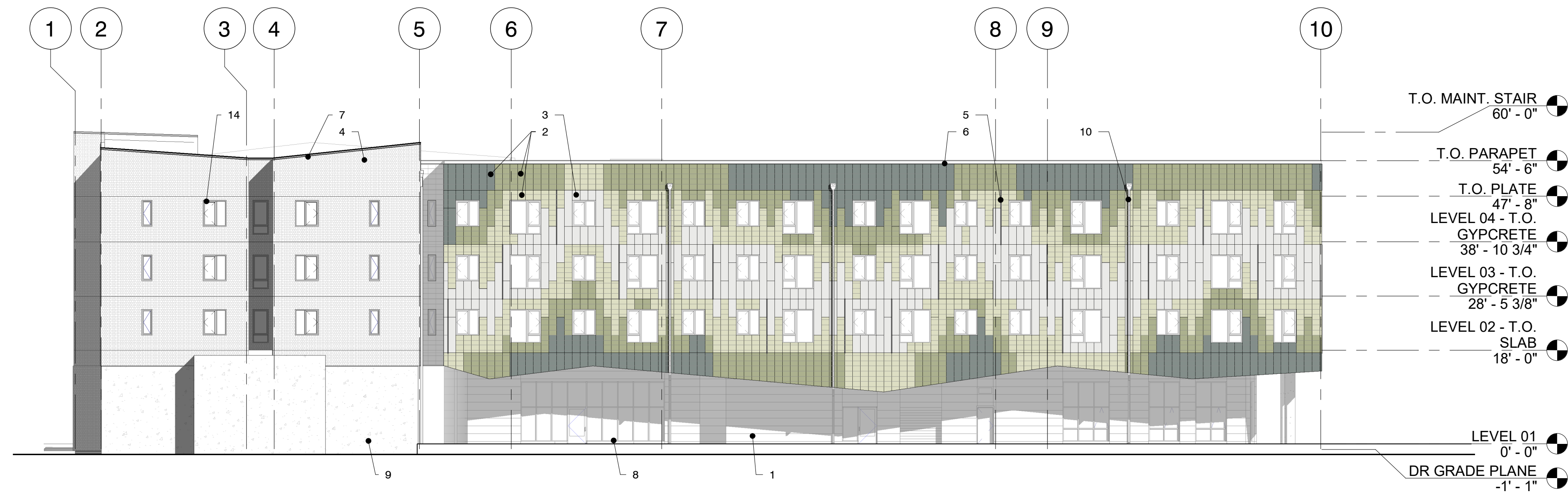
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CHECKED BY: CK
DATE CREATED: 08/03/23

SHEET:

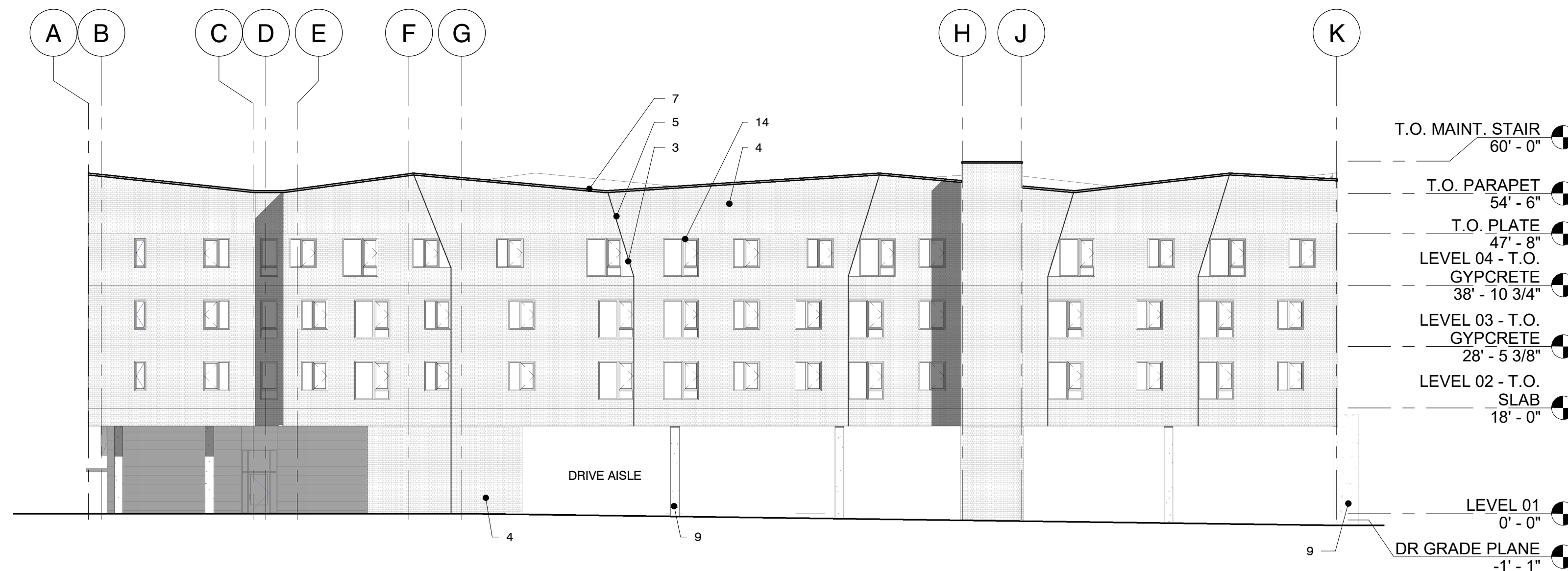
A2.02

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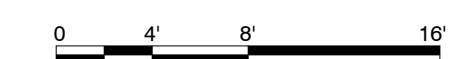
Salazar Architect, Inc.

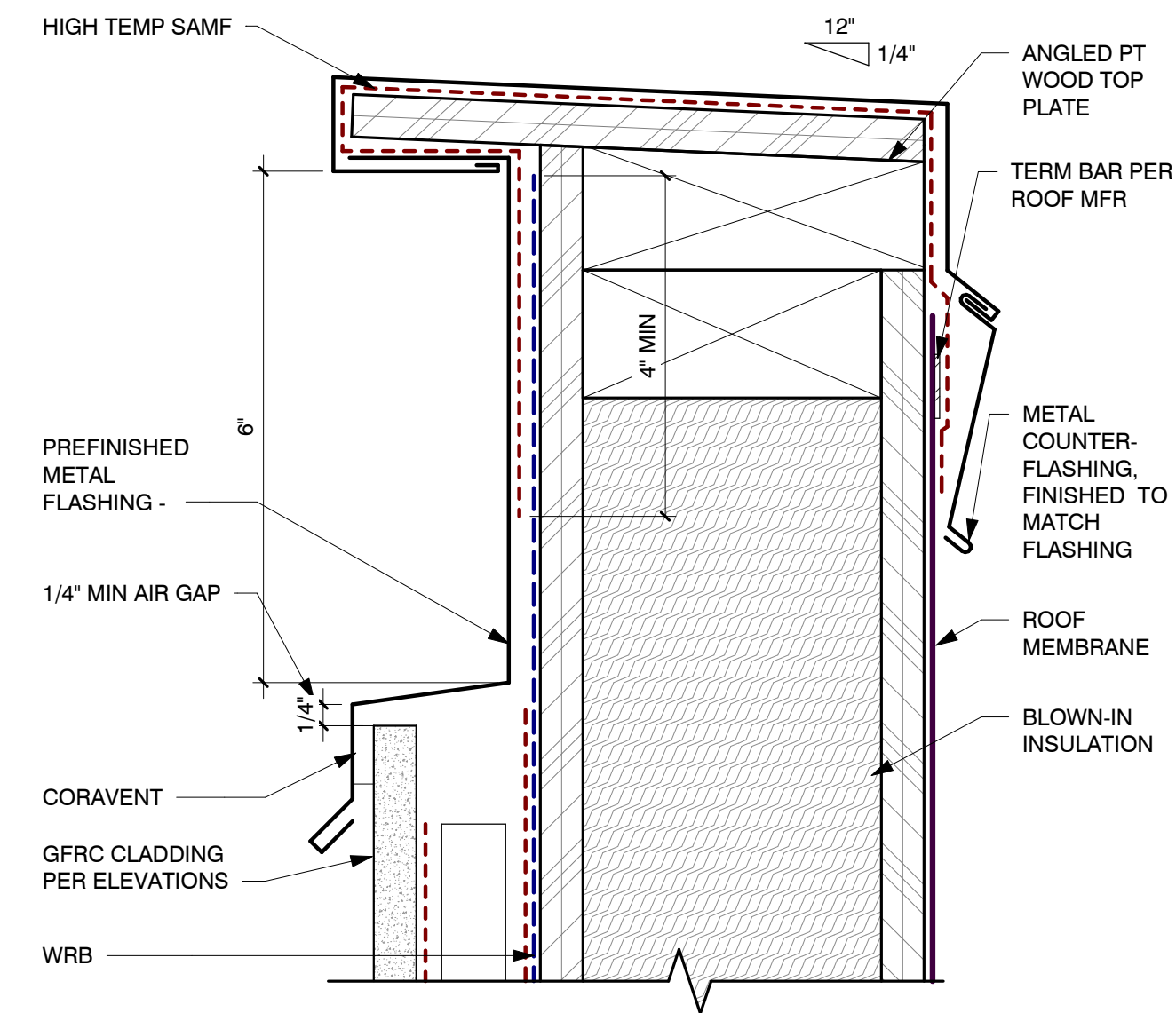


2 SOUTH ELEVATION
1/16" = 1'-0"

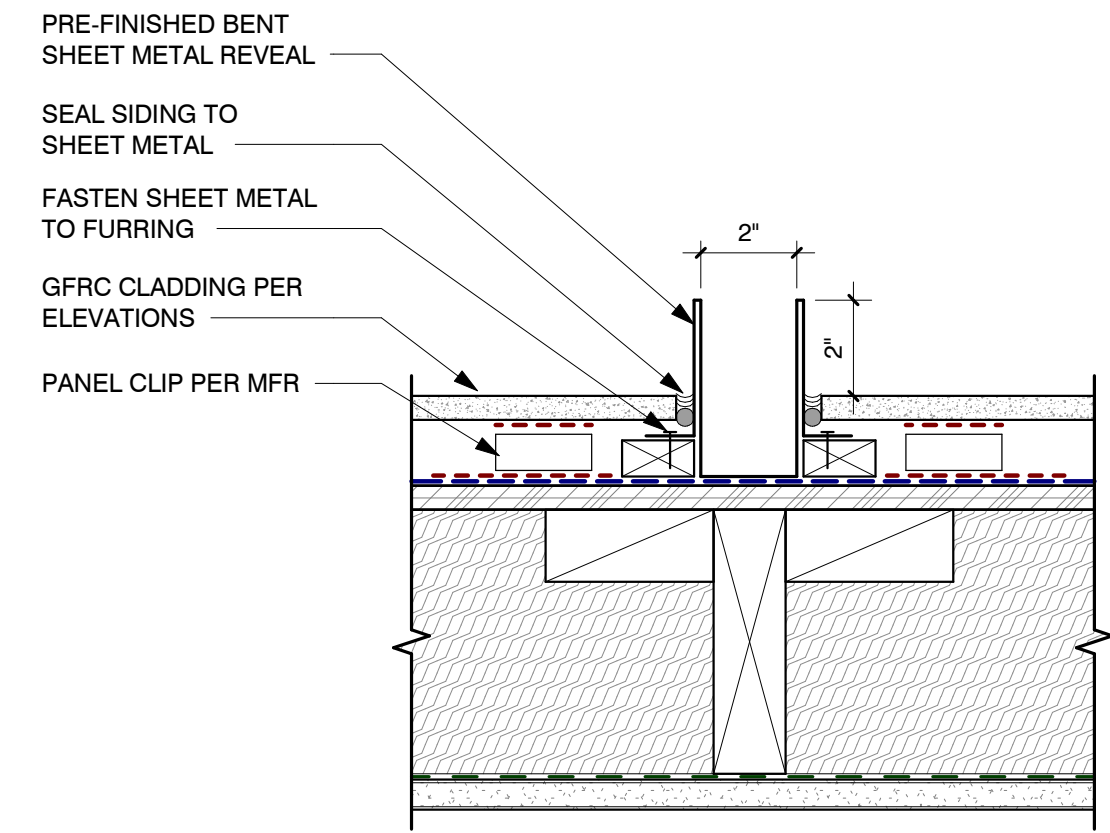


1 WEST ELEVATION
1/16" = 1'-0"

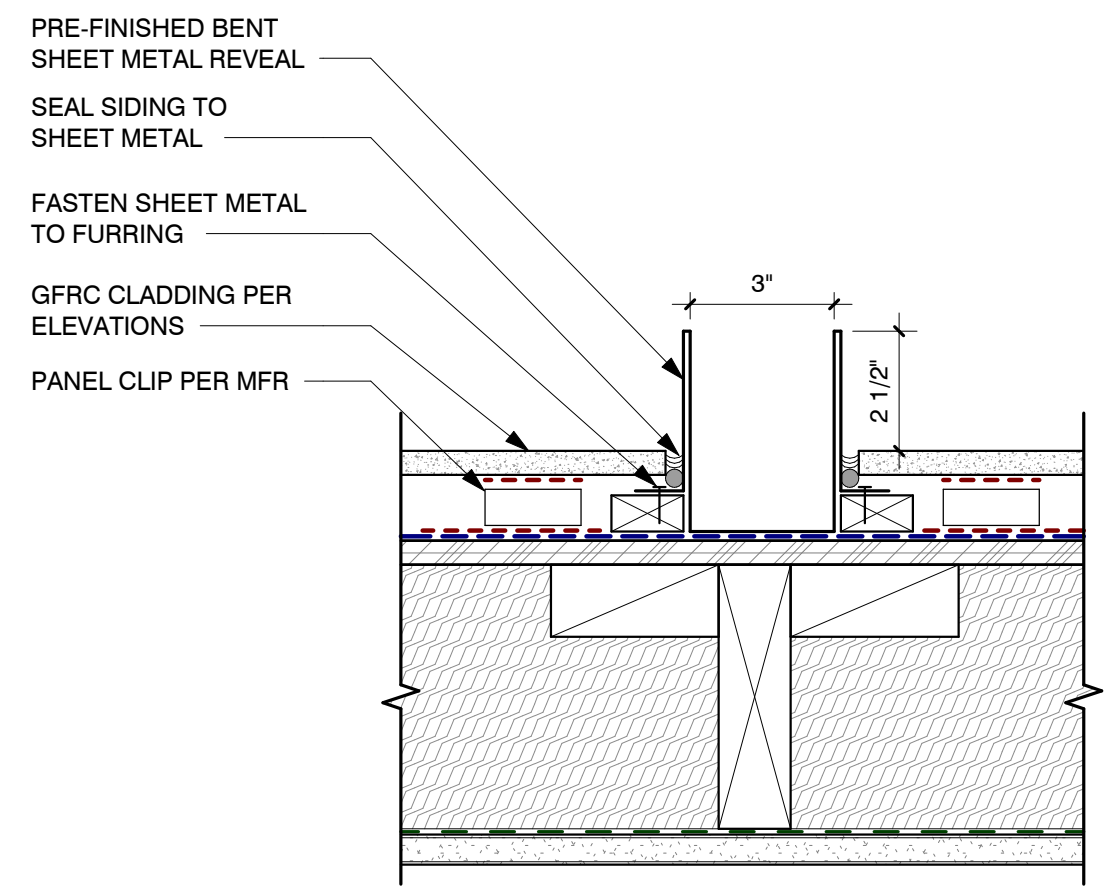




5 PARAPET CAP AT PANEL SIDING
6" = 1'-0"



4 REVEAL AT WINDOWS
3" = 1'-0"



3 REVEAL AT PANEL SIDING
3" = 1'-0"

ELEVATION NOTES

1. CERACLAD TEXTURED (FRESH CREAM)
2. CERACLAD ZEN GARDEN TEXTURED
3. 3 CUSTOM COLORS
4. CERACLAD SMOOTH (SILK)
5. CERACLAD MOSAIC TILE TEXTURED (WHITE)
6. SHEET METAL REVEAL, SEE 3/A2.03 & 4/A2.03
7. SHEET METAL PARAPET CAP WITH REVEAL, SEE 5/A2.03
8. SHEET METAL PARAPET CAP
9. ALUMINUM STOREFRONT
10. EXPOSED CONCRETE, GRAFFITI SEAL AT EXTERIOR LOCATIONS
11. METAL SCUPPER, & DOWNSPOUT
12. WOOD SOFFIT
13. STEEL CANOPY, POWDER COATED
14. VERTICAL STEEL SCREEN, WITH INTERMEDIATE DIAGONAL MEMBERS, POWDER COATED
15. VINYL WINDOW WITH TRIM, SEE 3/A2.04

EXTERIOR MATERIAL LEGEND

- CERACLAD PANEL, SMOOTH
- CERACLAD PANEL, ZEN GARDEN TEXTURED, 3 CUSTOM COLORS

PROJECT NUMBER: 2022

ELMONICA STATION

17030 SW BASELINE ROAD
BEAVERTON, OR 97006

CLIENT:

REACH CDC

4150 S MOODY AVE
PORTLAND, OR 97239

PHASE:

LAND USE

REVISIONS:

DATE	DESCRIPTION
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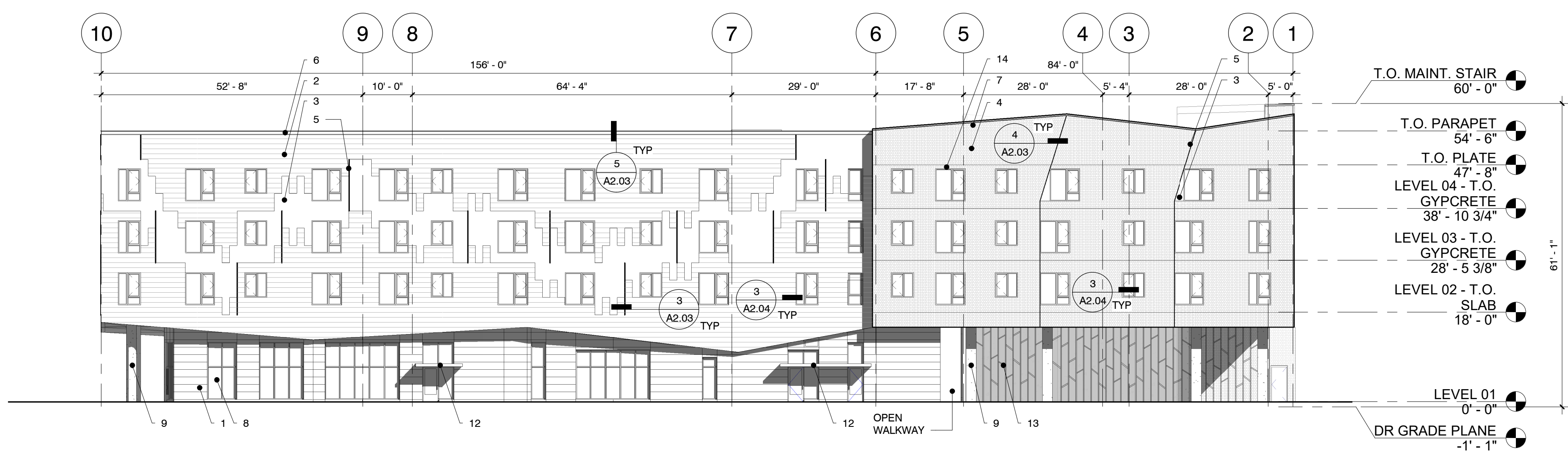
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BUILDING ELEVATIONS - ARTICULATION

DRAWN BY: BH
CHECKED BY: CK
DATE CREATED: 08/03/23

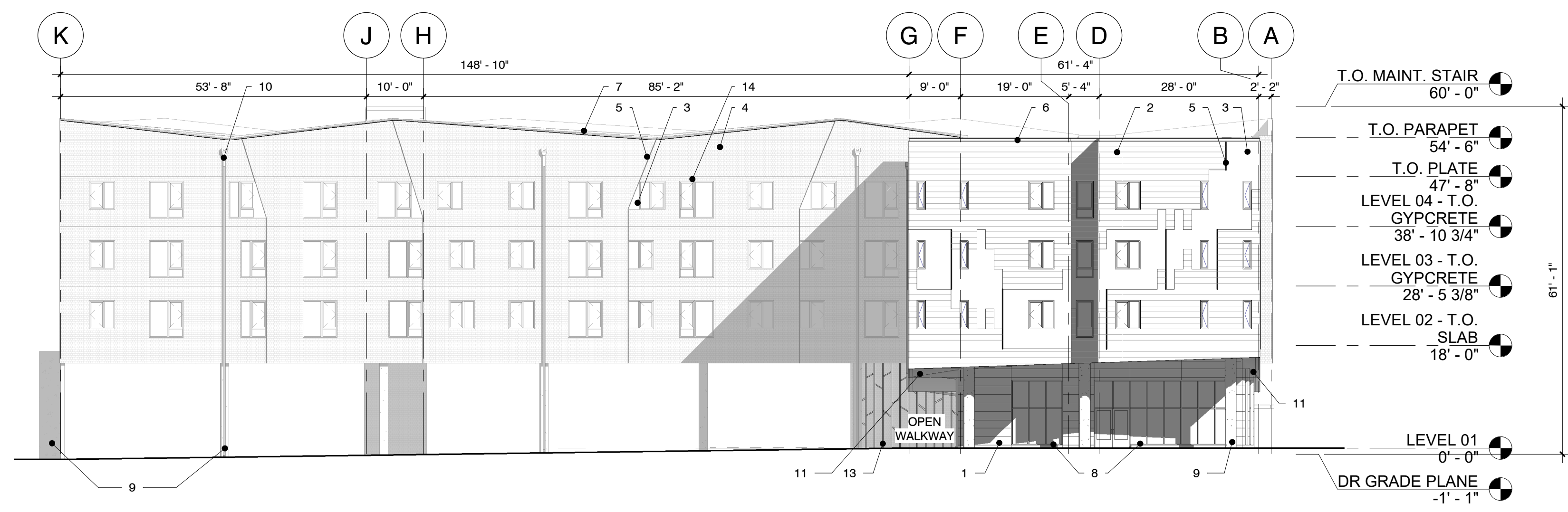
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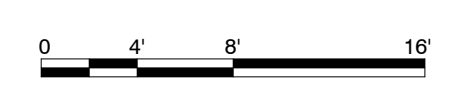
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2 NORTH ELEVATION - TEXTURED
1/16" = 1'-0"



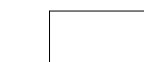
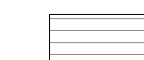
1 EAST ELEVATION - TEXTURED
1/16" = 1'-0"

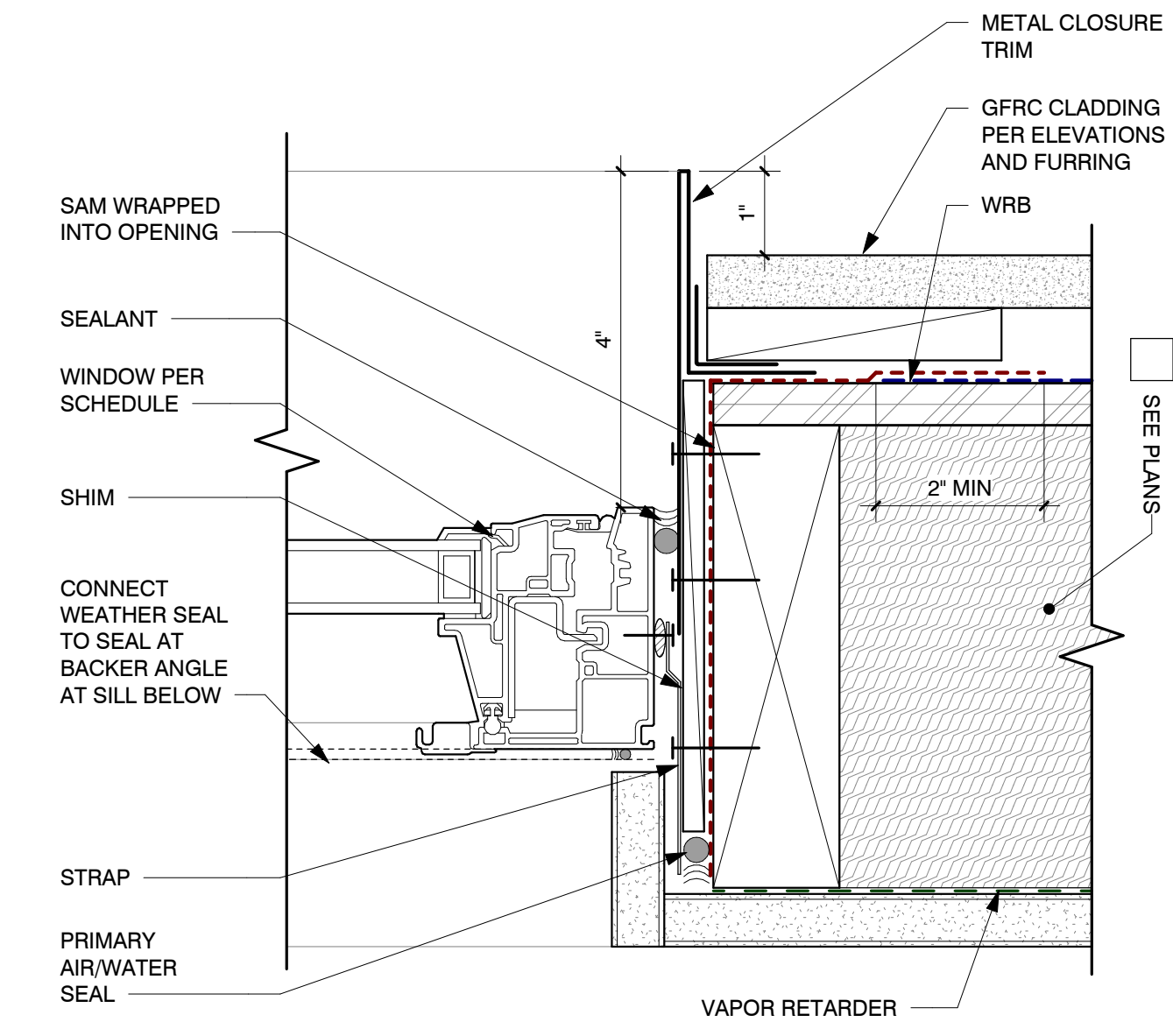


ELEVATION NOTES

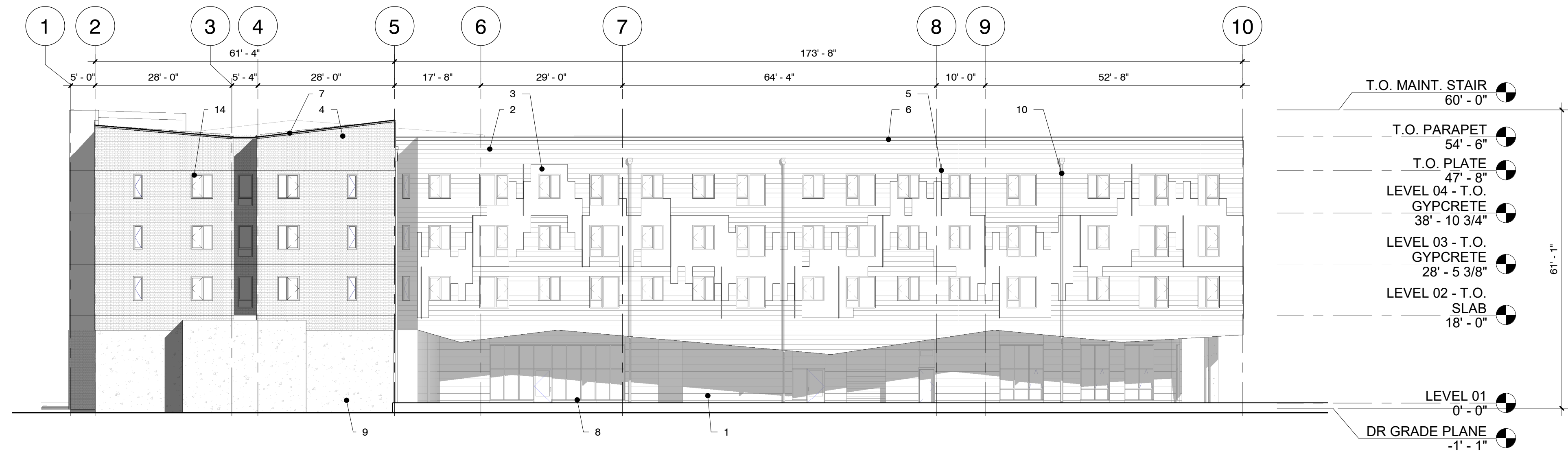
1. CERACLAD TEXTURED (FRESH CREAM)
2. CERACLAD ZEN GARDEN TEXTURED
3. 3 CUSTOM COLORS
4. CERACLAD MOSAIC TILE TEXTURED (WHITE)
5. SHEET METAL REVEAL, SEE 3/A2.03 & 4/A2.03
6. SHEET METAL PARAPET CAP WITH REVEAL, SEE 5/A2.03
7. SHEET METAL PARAPET CAP
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13. VERTICAL STEEL SCREEN, WITH INTERMEDIATE DIAGONAL MEMBERS, POWDER COATED
14. VINYL WINDOW WITH TRIM, SEE 3/A2.04

EXTERIOR MATERIAL LEGEND

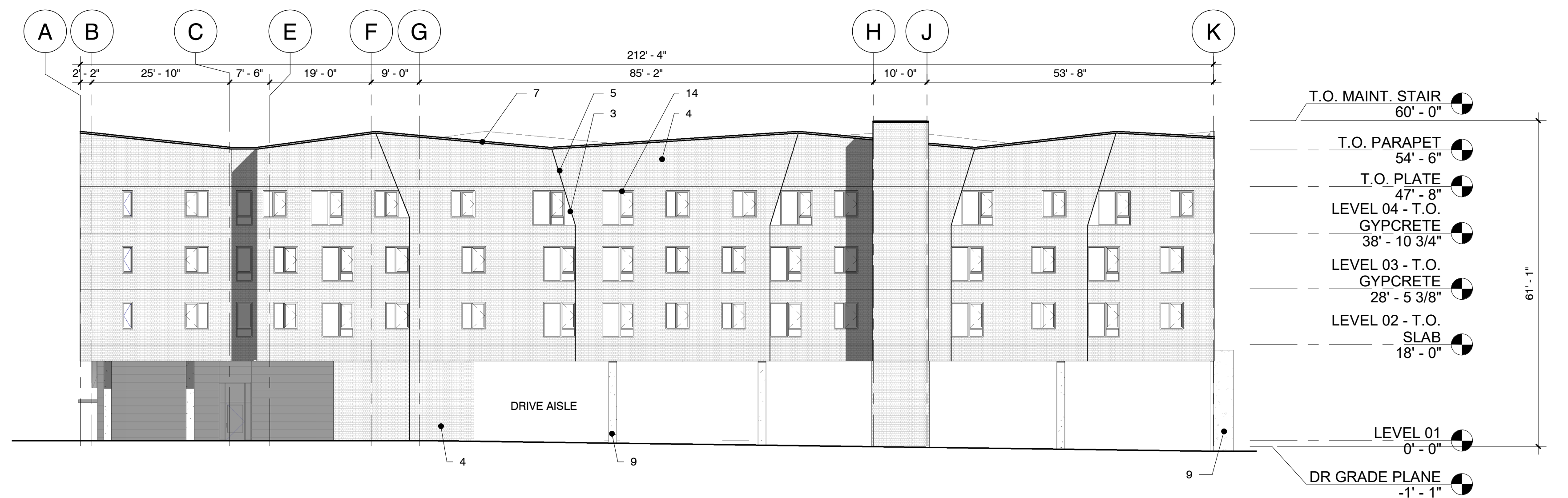
-  CERACLAD PANEL, SMOOTH
-  CERACLAD PANEL, ZEN GARDEN TEXTURED, 3 CUSTOM COLORS



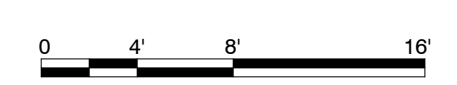
3 WINDOW JAMB -TYP
6" = 1'-0"



2 SOUTH ELEVATION - TEXTURED
1/16" = 1'-0"



1 WEST ELEVATION - TEXTURED
1/16" = 1'-0"



PROJECT NUMBER: 2022

ELMONICA STATION

17030 SW BASELINE ROAD
BEAVERTON, OR 97006

CLIENT:
REACH CDC

4150 S MOODY AVE
PORTLAND, OR 97239

PHASE:
LAND USE

REVISIONS:

#	DATE	DESCRIPTION
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SHEET TITLE:
BUILDING ELEVATIONS - ARTICULATION

DRAWN BY: BH
CHECKED BY: CK
DATE CREATED: 08/03/23

SHEET:
A2.04

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VIEW FROM CORNER OF W BASELINE ROAD AND SW 170TH AVE

PROJECT NUMBER: 2022

**ELMONICA
STATION**

17030 SW BASELINE ROAD
BEAVERTON, OR 97006

CLIENT:
REACH CDC

4150 S MOODY AVE
PORTLAND, OR 97239

PHASE:
LAND USE

REVISIONS:

#	DATE	DESCRIPTION
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SHEET TITLE:
VISUALIZATION

DRAWN BY:	BH
CHECKED BY:	CK
DATE CREATED:	08/03/23

SHEET:

A2.05

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Salazar Architect, Inc.



VIEW FROM SW 170TH AVE

PROJECT NUMBER: 2022

**ELMONICA
STATION**

17030 SW BASELINE ROAD
BEAVERTON, OR 97006

CLIENT:
REACH CDC

4150 S MOODY AVE
PORTLAND, OR 97239

PHASE:
LAND USE

REVISIONS:

#	DATE	DESCRIPTION
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SHEET TITLE:
VISUALIZATION

DRAWN BY: BH
CHECKED BY: CK
DATE CREATED: 08/03/23

SHEET:
A2.06

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PROJECT NUMBER: 2022

ELMONICA STATION

17300 SW BASELINE ROAD
 BEAVERTON, OR 97006

CLIENT:
REACH CDC

GLOBAL
 Transportation
 Engineering
 227 SW Pine St, Suite 220
 Portland, Oregon 97204



PHASE:
SCHEMATIC DESIGN

REVISIONS:

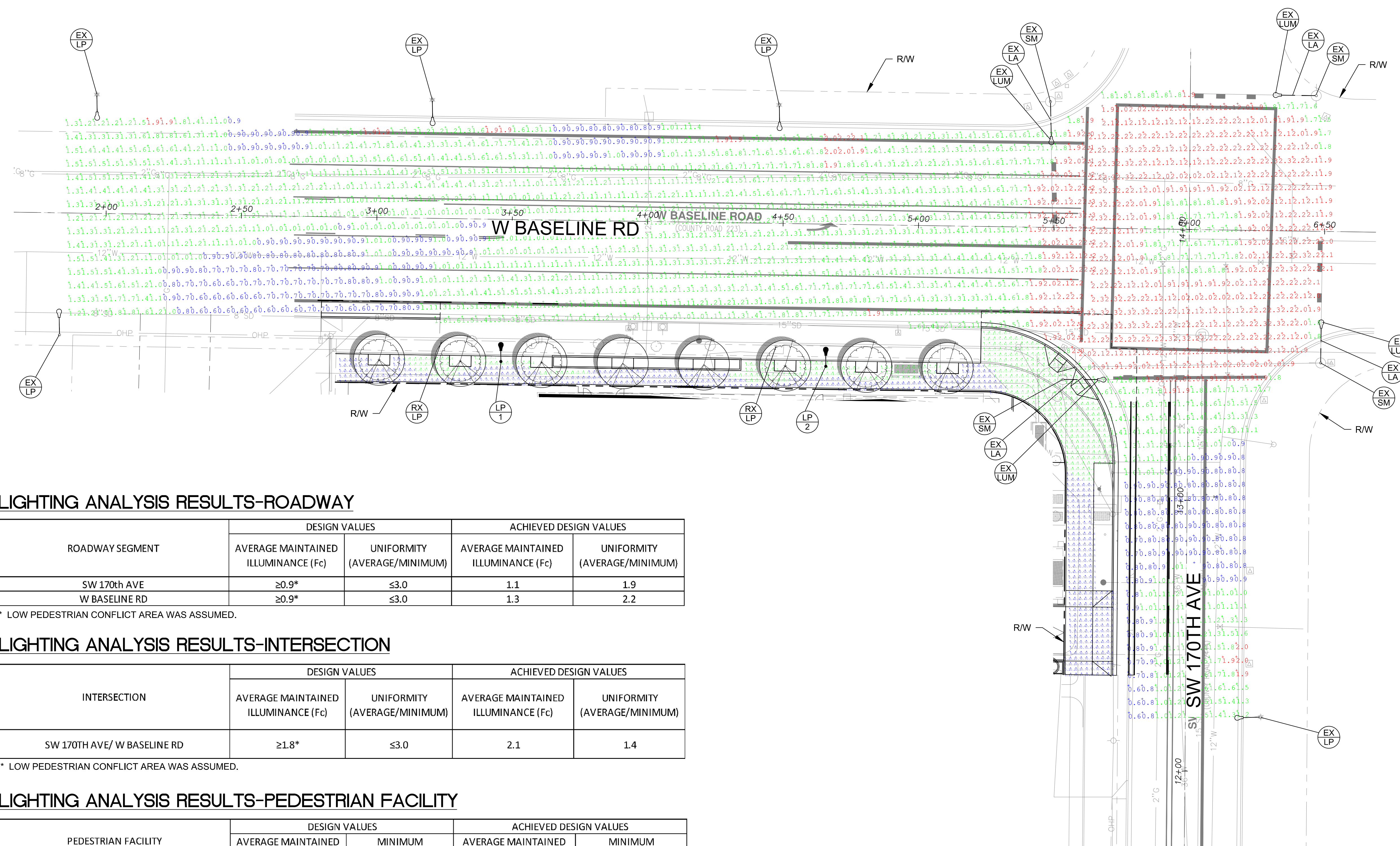
DATE	DESCRIPTION
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SHEET TITLE:
PHOTOMETRIC PLAN

DRAWN BY: PK
 CHECKED BY: MTL
 DATE CREATED: 06/05/23
 SHEET:

IL001

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 Salazar Architect, Inc.



LIGHTING ANALYSIS RESULTS-ROADWAY

ROADWAY SEGMENT	DESIGN VALUES		ACHIEVED DESIGN VALUES	
	AVERAGE MAINTAINED ILLUMINANCE (Fc)	UNIFORMITY (AVERAGE/MINIMUM)	AVERAGE MAINTAINED ILLUMINANCE (Fc)	UNIFORMITY (AVERAGE/MINIMUM)
SW 170th AVE	≥0.9*	≤3.0	1.1	1.9
W BASELINE RD	≥0.9*	≤3.0	1.3	2.2

* LOW PEDESTRIAN CONFLICT AREA WAS ASSUMED.

LIGHTING ANALYSIS RESULTS-INTERSECTION

INTERSECTION	DESIGN VALUES		ACHIEVED DESIGN VALUES	
	AVERAGE MAINTAINED ILLUMINANCE (Fc)	UNIFORMITY (AVERAGE/MINIMUM)	AVERAGE MAINTAINED ILLUMINANCE (Fc)	UNIFORMITY (AVERAGE/MINIMUM)
SW 170TH AVE/ W BASELINE RD	≥1.8*	≤3.0	2.1	1.4

* LOW PEDESTRIAN CONFLICT AREA WAS ASSUMED.

LIGHTING ANALYSIS RESULTS-PEDESTRIAN FACILITY

PEDESTRIAN FACILITY	DESIGN VALUES		ACHIEVED DESIGN VALUES	
	AVERAGE MAINTAINED ILLUMINANCE (Fc)	MINIMUM ILLUMINANCE (Fc)	AVERAGE MAINTAINED ILLUMINANCE (Fc)	MINIMUM ILLUMINANCE (Fc)
SIDEWALK ALONG W BASELINE RD	≥0.4*	≥0.1	1.0	0.3
SIDEWALK ALONG SW 170TH AVE	≥0.4*	≥0.1	0.8	0.2

* MEDIUM DENSITY RESIDENTIAL AREA WAS ASSUMED BASED ON RP-8-18 TABLE 16-3.

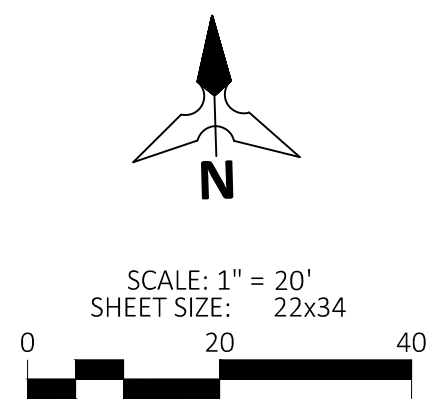
POLE AND LUMINAIRE SCHEDULE

POLE NUMBER	ROADWAY	STATION	OFFSET (FT)*	POLE STYLE	BASE PLATE CONFIGURATION	MOUNTING HEIGHT (FT)	ARM LENGTH (FT)	BREAKAWAY DEVICE REQUIRED	LUMINAIRE				LIGHT LOSS FACTOR	LUMINAIRE MODEL #		
									FIXTURE STYLE	TYPE	WATT	INITIAL LUMENS				
1	W BASELINE RD	3+45.9	52.6	ALUMINUM DAVIT	F	30	6	NO	COBRA HEAD	LED	101	10,388	TYPE 2	B2-U0-G2	0.85	LEOTEK,GC1-60F-MV-NW-2-GY-530-PCR7-SC-WL
2	W BASELINE RD	4+66.5	52.6	ALUMINUM DAVIT	F	30	6	NO	COBRA HEAD	LED	101	10,388	TYPE 2	B2-U0-G2	0.85	LEOTEK,GC1-60F-MV-NW-2-GY-530-PCR7-SC-WL

* OFFSET IS MEASURED FROM THE ROADWAY CONSTRUCTION CENTERLINE TO THE CENTER OF THE POLE.
 F = FIXED BASE ILLUMINATION POLE

LEGEND

- RETAIN AND PROTECT EXISTING STREET LIGHT POLE.
- RETAIN AND PROTECT EXISTING TRAFFIC SIGNAL MAST ARM POLE.
- RETAIN AND PROTECT EXISTING LUMINAIRE ARM.
- RETAIN AND PROTECT EXISTING LUMINAIRE.
- REMOVE EXISTING STREET LIGHT POLE.
- INSTALL NEW STREET LIGHT POLE (N) ON NEW FOUNDATION.



LAND USE LUMINAIRE SCHEDULE

TYPE	DESCRIPTION	HOUSING	SHIELDING	MOUNTING	FINISH	UL/IP RATING	DRIVER/ POWER SUPPLY	LIGHT SOURCE	INPUT WATTS	MFG/CATALOG #	NOTES
SA	AREA LED LUMINAIRE POLE MOUNTED; TYPE IV DISTRIBUTION	NOMINAL 43.7-INCH LONG BY 6-INCH WIDE BY 4-INCH TALL ALUMINUM	TYPE IV DISTRIBUTION WITH HOUSE SIDE SHIELD	POLE MOUNTED - OVERALL HEIGHT OF 19'-0". POLE TO WITHSTAND 100 MILE PER HOUR WINDS WITH A GUST FACTOR OF 1.3. PROVIDE FLUSH CONCRETE PEDESTAL BASE.	STANDARD FINISH AS SELECTED BY ARCHITECT	WET	0-10V INTEGRAL DIMMING DRIVER	NOMINAL 5346 LUMENS, 3000K, 80 CRI	48 WATTS	SELUX ARCA SERIES, HESS, LIGMAN LIGHTING OR APPROVED	
SA1	POLE ONLY; CONNECTION FOR STRING LIGHTS	NOMINAL 6-INCH WIDE BY 4-INCH DEEP BY 19' TALL ALUMINUM		POLE MOUNTED - OVERALL HEIGHT OF 19'-0". POLE TO WITHSTAND 100 MILE PER HOUR WINDS WITH A GUST FACTOR OF 1.3. PROVIDE FLUSH CONCRETE PEDESTAL BASE.	STANDARD FINISH AS SELECTED BY ARCHITECT	WET				SELUX ARCA SERIES, HESS, LIGMAN LIGHTING OR APPROVED	
SB	PEDESTRIAN LED LUMINAIRE POLE MOUNTED	NOMINAL 43.7-INCH LONG BY 6-INCH WIDE BY 4-INCH TALL ALUMINUM	TYPE IV DISTRIBUTION WITH HOUSE SIDE SHIELD	POLE MOUNTED - OVERALL HEIGHT 14'-0". POLE TO WITHSTAND 100 MILE PER HOUR WINDS WITH A GUST FACTOR OF 1.3. PROVIDE FLUSH CONCRETE PEDESTAL BASE.	STANDARD FINISH AS SELECTED BY ARCHITECT	WET	0-10V INTEGRAL DIMMING DRIVER	NOMINAL 3540 LUMENS, 3000K, 80 CRI	72 WATTS	SELUX ARCA SERIES, HESS, LIGMAN LIGHTING OR APPROVED	
SC	EXTERIOR WALL MOUNTED LED LUMINAIRE	NOMINAL 4-INCH SQUARE WITH PROJECTION OF 3.7-INCH	TYPE I DISTRIBUTION	WALL MOUNTED TO COLUMNS. COORDINATE WITH ARCHITECTURAL DRAWINGS.	STANDARD FINISH AS SELECTED BY ARCHITECT	WET	0-10V INTEGRAL DIMMING DRIVER	NOMINAL 570 LUMENS, 3000K, 80 CRI	6 WATTS	LIGMAN LIGHTING ULEE-30001 SERIES OR APPROVED	
SD	RECESSED 4-INCH APERTURE LED DOWNLIGHT	NOMINAL 4-INCH APERTURE BY 6-INCH DEEP STEEL HOUSING	WIDE BEAM REFLECTOR	RECESSED IN CEILING. COORDINATE CANOPY STRUCTURE.	SEMI-SPECULAR CLEAR REFLECTOR	DAMP	0-10V INTEGRAL DIMMING DRIVER	NOMINAL 1000 LUMENS, 3000K, 80 CRI	12 WATTS	PRESCOLITE LTR-4RD SERIES, GOTHAM LIGHTING, LIGHTOLIER, SPECTRUM LIGHTING OR APPROVED	
SF	LED GARAGE LUMINAIRE	NOMINAL 12-INCH DIAMETER BY 4-INCH TALL	TYPE V SQUARE WIDE	SURFACE MOUNTED. COORDINATE CEILING TYPE.	STANDARD FINISH AS SELECTED BY ARCHITECT	DAMP	0-10V INTEGRAL DIMMING DRIVER	NOMINAL 2000 LUMENS, 3000K, 80 CRI	20 WATTS	BEACON LIGHTING SR11 SERIES OR APPROVED	
SG	LED UNDER BENCH LIGHTING	NOMINAL 0.65-INCH SQUARE IN LENGTHS AS SHOWN ON DRAWINGS		SURFACE MOUNTED. COORDINATE WITH BENCH DETAIL.	FROSTED LENS/WHITE FINISH	WET	REMOTE POWER SUPPLY	NOMINAL 162 LUMENS PER FOOT, 3000K, 80 CRI	4 WATTS PER FOOT	KELVIX SIGNWAVE 3 OUTDOOR SERIES OR APPROVED	PROVIDE NEMA 4 ENCLOSURE FOR REMOTE DRIVER. COORDINATE WITH LANDSCAPE DRAWINGS FOR LOCATION.

SALAZARCHITECT
 3050 SE DIVISION ST.
 SUITE 240
 PORTLAND, OR 97202
 PHONE: 503.702.2575
 WWW.SALAZARCH.COM

PROJECT NUMBER: 2022
ELMONICA STATION
 1700 SW BASELINE ROAD
 BEAVERTON, OR 97006

CLIENT:
REACH CDC

4150 S MOODY AVE
 PORTLAND, OR 97239



EXPIRES: 12/31/22

PHASE:
100% DESIGN DEVELOPMENT

REVISIONS:

#	DATE	DESCRIPTION
SHEET TITLE: SITE PLAN - PHOTOMETRICS		

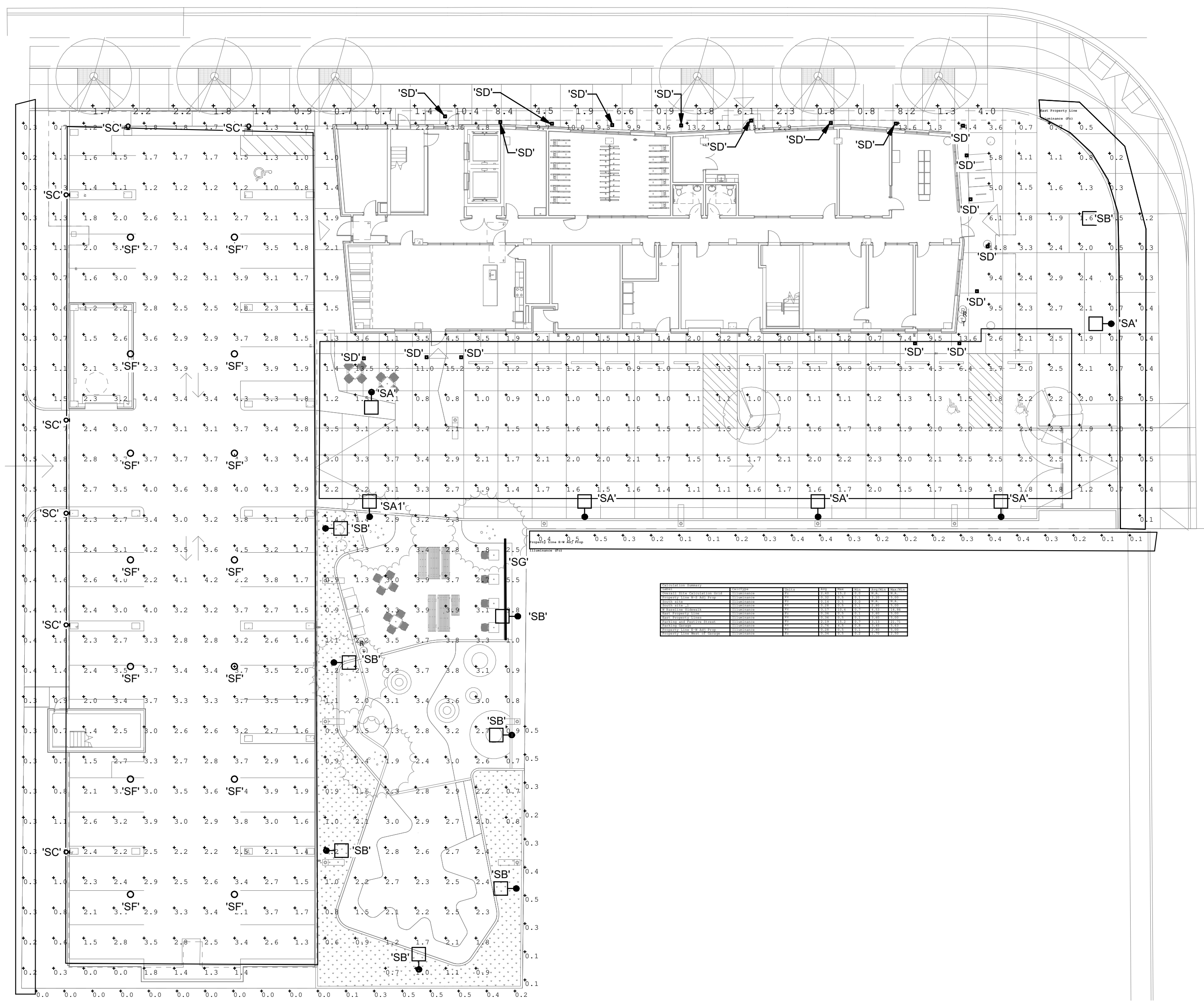
DRAWN BY: Rose Malone
 CHECKED BY: ---
 DATE CREATED: 06.16.23
 SHEET:

SL101

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 PROJECT 2021-1320
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 Salazar Architect, Inc.

BASELINE ROAD SW

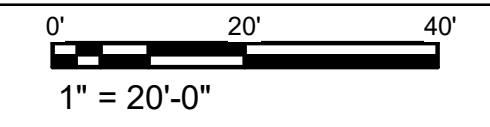


170TH AVENUE

GENERAL SHEET NOTES

- AREA POLE MOUNTED LUMINAIRE, TYPE SA SERIES, HAVE A MOUNTING HEIGHT OF 19'-7" ABOVE GRADE. FLUSH MOUNTED CONCRETE PEDESTAL.
- PEDESTRIAN POLE MOUNTED LUMINAIRE, TYPE SB SERIES, HAVE A MOUNTING HEIGHT OF 14'-8" ABOVE GRADE. FLUSH MOUNTED CONCRETE PEDESTAL.
- BUILDING ENTRIES AND WALKWAYS TO BE ILLUMINATED WITH EITHER WALL MOUNTED SCONCES OR RECESSED DOWNLIGHT. REFER TO FLOOR PLAN DRAWINGS.
- PARKING GARAGE PHOTOMETRICS PROVIDED AS GARAGE WALLS ARE OPEN TO THE EXTERIOR.
- PHOTOMETRIC CALCULATIONS ARE AT GRADE LEVEL ON PAVEMENT OR CONCRETE SURFACES.
- CALCULATIONS ARE THE EXPECTED AVERAGE MAINTAINED ILLUMINATION AT GRADE DURING NORMAL LIFE OF LIGHT SOURCE.
- ISO-ILLUMINANCE LINES INDICATE 1 FOOTCANDLE AND 0.5 FOOTCANDLE FOR OVERALL SITE.
- LLF OF 0.90.

1 SITE PLAN - PHOTOMETRICS



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